

SITE ADDRESS

22-30 KENNY STREET, WOLLONGONG  
LOTS 1-2 D.P. 543836

SITE AREA

3833.5 sqm TOTAL

SUMMARY

GFA	TOTAL ALLOWABLE	16629.0 sqm
	TOTAL PROPOSED	16588.13 sqm
FSR	ALLOWABLE	4.34 : 1
	PROPOSED	4.33 : 1

COMMON OPEN SPACE AREA	REQUIRED 958.3 sqm (25%) PROPOSED 994.3 sqm (25.9%)
CARPARKING REQUIRED	109.4 RESIDENTIAL (0.6 SPACES PER 1 BED) (0.9 SPACES PER 2 BED) (1.4 SPACES PER 3 BED) 21 VISITORS (0.2 SPACES PER UNIT) 3 COMMERCIAL (1 SPACE PER 60 SQM) 54 HOTEL (0.5 SPACES PER HOTEL ROOM) 03 HOTEL STAFF (0.25 SPACES PER STAFF MEMBER)
CARPARKING PROVIDED	109 RESIDENTIAL 21 VISITORS 3 COMMERCIAL 54 HOTEL 03 HOTEL STAFF
MOTORBIKE SPACES PROVIDED	07 RESIDENTIAL (1 PER 15 UNITS) 00 VISITORS (NIL REQUIRED) 01 COMMERCIAL (1 PER 25 CARS) 02 HOTEL (1 PER 25 CARS)
BICYCLE SPACES PROVIDED	35 RESIDENTIAL (1 PER 3 UNITS = 35) 9 VISITOR (1 PER 12 UNITS = 9) 02 COM / HOTEL STAFF (1 PER 200 SQM = 3) 01 COM / HOTEL VISITOR (1 PER 750 SQM = 3)

70% OF UNITS (73 OUT OF 105 UNITS) REQUIRED TO ACHIEVE SOLAR COMPLIANCE (ADG)  
TOTAL PROVIDED = 82 UNITS (78.10%)

60% OF UNITS IN FIRST 9 STOREYS (28 OUT OF 47 UNITS ) REQUIRED TO ACHIEVE CROSS VENTILATION (ADG)  
TOTAL PROVIDED = 31 UNITS (65.96%)  
10% OF UNITS (10.5 UNITS) REQUIRED TO BE ADAPTABLE  
20% OF UNITS (21 UNITS) REQUIRED TO ACHIEVE SILVER (LIVABLE HOUSING)

TOTAL ADAPTABLE PROVIDED - 13 UNITS (401, 501, 601, 701, 801,901,1001, 1101, 1201)  
1301, 1401, 1501, 404)

TOTAL LIVABLE PROVIDED - 23 UNITS (401, 501, 601, 701, 801, 901, 1001, 1101, 1201  
1301, 1401,1501,404, 502, 602,702, 802, 902,  
1102, 1202, 1302, 1402, 1502)

(NOTE: SINCE 10% OF THE UNITS ALREADY COMPLY WITH ADAPTABLE UNIT REQUIREMENTS THESE UNITS ARE ALSO CAPABLE OF SATISFYING THE INTENT OF SILVER LEVEL OF LIVABLE HOUSING GUIDELINES).

DRAWING LIST

NO.	SHEET NAME	REV
000	COVERSHEET	CC
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006	CONTEXTUAL STREETSCAPE ANALYSIS	CC
007	SURROUNDING CONTEXTUAL ANALYSIS	CC
008	SURROUNDING CONTEXTUAL ANALYSIS	CC
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017	LEVEL 2 PLAN	CC
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019	LEVEL 4 PLAN	CC
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021	TYPICAL LEVEL - LEVEL 6-15	CC
022	LEVEL 16 PLAN	CC
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024	ROOF PLAN	CC
025	GFA PLANS	CC
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027	STORAGE SCHEDULE	CC
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031	SITE CONTEXT - KEY FLOOR PLANS	CC
032	SITE CONTEXT - KEY FLOOR PLANS	CC
033	SITE CONTEXT - KEY FLOOR PLANS	CC
034	FUTURE DEVELOPMENT GFA PLANS	CC
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041	ELEVATION - SOUTH	CC
042	ELEVATION - WEST	CC
043	ELEVATION - NORTH	CC
050	SECTION A	CC
051	SECTION B	CC
052	SECTION C	CC
053	SECTION D	CC
054	SITE SECTION E	CC
055	DETAIL SECTIONS	CC
061	3D PERSPECTIVE (FRONT)	CC
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063	3D PERSPECTIVES	CC
064	3D PERSPECTIVES	CC
065	3D PERSPECTIVE (HEIGHT PLANE)	CC
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071	SHADOWS - WINTER	CC
072	SHADOWS - WINTER	CC
073	SHADOWS - SUMMER	CC
092	CROSS VENTILATION	CC
093	SOLAR ACCESS VIEWS	CC
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095	SOLAR ACCESS VIEWS	CC
096	SOLAR ACCESS_COMPARATIVE ANALYSIS	CC
096a	SOLAR ACCESS_COMPARATIVE ANALYSIS	CC
097	SOLAR ACCESS VIEWS FUTURE	CC
098	FUTURE CONTEXT - SOLAR CALCULATIONS	CC

AREA SCHEDULE (GFA)		
LEVEL	AREA	FSR
GROUND FL	1049.48 m²	0.27
LEVEL 1	1553.02 m²	0.41
LEVEL 2	1532.36 m²	0.40
LEVEL 3	1532.45 m²	0.40
LEVEL 4	529.93 m²	0.14
LEVEL 5	659.80 m²	0.17
LEVEL 6	888.97 m²	0.23
LEVEL 7	888.97 m²	0.23
LEVEL 8	888.97 m²	0.23
LEVEL 9	888.97 m²	0.23
LEVEL 10	888.97 m²	0.23
LEVEL 11	888.97 m²	0.23
LEVEL 12	888.97 m²	0.23
LEVEL 13	888.97 m²	0.23
LEVEL 14	888.97 m²	0.23
LEVEL 15	888.97 m²	0.23
LEVEL 16	488.84 m²	0.13
LEVEL 17	366.30 m²	0.10
Grand total	16601.86 m²	4.33

Site Area	3833				
Area		%			Total Area
Non Res (NRFSR)	5523.43	33.27			16601.86
Res (RFSR)	11078.4	66.73			
RFSR =	3.5				
NRFSR =	6				
(NRFSR x NR / 100)	1.996	+	(RFSR x R / 100)	:1	
		+		:1	
Allowable FSR	4.33 :1				
Allowable GFA	16603.6				
Proposed FSR	4.33 :1				
Area Difference	1.7				

AREA TYPE BREAKDOWN (GFA)		
LEVEL	AREA	FSR
COMMERCIAL		
GROUND FL	905.60 m²	0.24
LEVEL 1	1553.02 m²	0.41
LEVEL 2	1532.36 m²	0.40
LEVEL 3	1532.45 m²	0.40
	5523.43 m²	1.44
RESIDENTIAL		
GROUND FL	143.88 m²	0.04
LEVEL 4	529.93 m²	0.14
LEVEL 5	659.80 m²	0.17
LEVEL 6	888.97 m²	0.23
LEVEL 7	888.97 m²	0.23
LEVEL 8	888.97 m²	0.23
LEVEL 9	888.97 m²	0.23
LEVEL 10	888.97 m²	0.23
LEVEL 11	888.97 m²	0.23
LEVEL 12	888.97 m²	0.23
LEVEL 13	888.97 m²	0.23
LEVEL 14	888.97 m²	0.23
LEVEL 15	888.97 m²	0.23
LEVEL 16	488.84 m²	0.13
LEVEL 17	366.30 m²	0.10
	11078.43 m²	2.89
	16601.86 m²	4.33

MIXED USE DEVELOPMENT

22-30 KENNY STREET,  
WOLLONGONG, NSW  
BLAQ PROJECTS



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ARBORIST	ALLIED TREES CONSULTANCY	WARWICK VARLEY	0402 763 414	admin@alliedtrees.com.au
CGI	MIKO	MIKO SARKIS		miko24sarkis@gmail.com.au

ADDITIONAL INFORMATION

DISCLAIMER

Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not for sale and are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

REF. CC	DATE 11.07.2024	AMENDMENT ADDITIONAL INFORMATION
DISCLAIMER All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.		



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Sydney  
Level 10, 6 Mount  
Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: COVERSHEET

ISSUE DATE:  
11.07.2024  
DRAWN: NT / DM  
SCALE:  
QA: RG

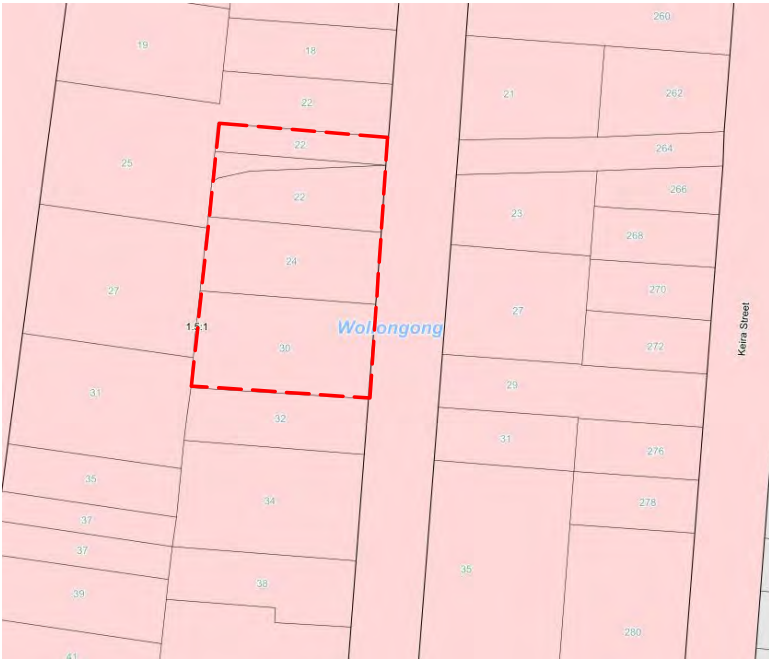
PROJECT No.  
2563  
DWG No. Rev.  
000 CC





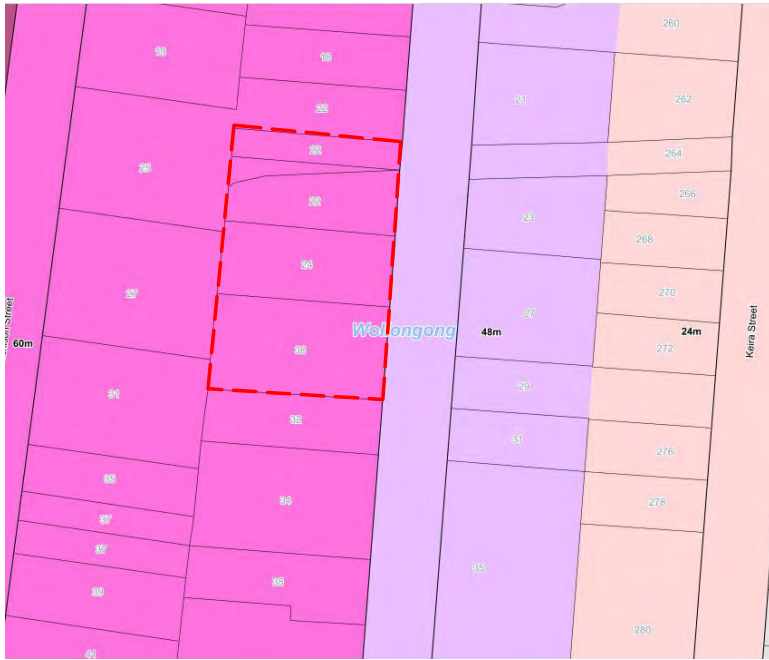
ZONING MAP

B3 - COMMERCIAL CORE



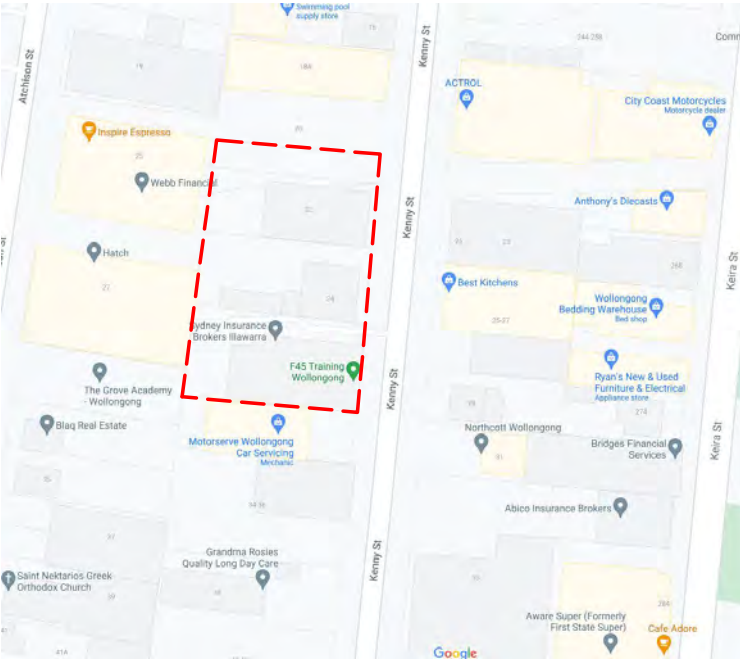
FSR

SEE WOLLONGONG DCP AND COVERSHEET FOR FSR CALCULATIONS



BUILDING HEIGHT

60 METRE HEIGHT LIMIT



SITE MAP

22-30 KENNY STREET, WOLLONGONG



STREET VIEW

22-30 KENNY STREET, WOLLONGONG

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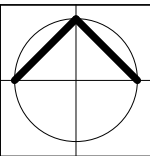
REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION
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CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: DCP ANALYSIS



ISSUE DATE: 12.06.2024  
DRAWN: NT  
SCALE: RG  
QA: RG

PROJECT No. 2563  
DWG No. 001  
Rev. AA

## ADDITIONAL INFORMATION





REGIONAL CONTEXT

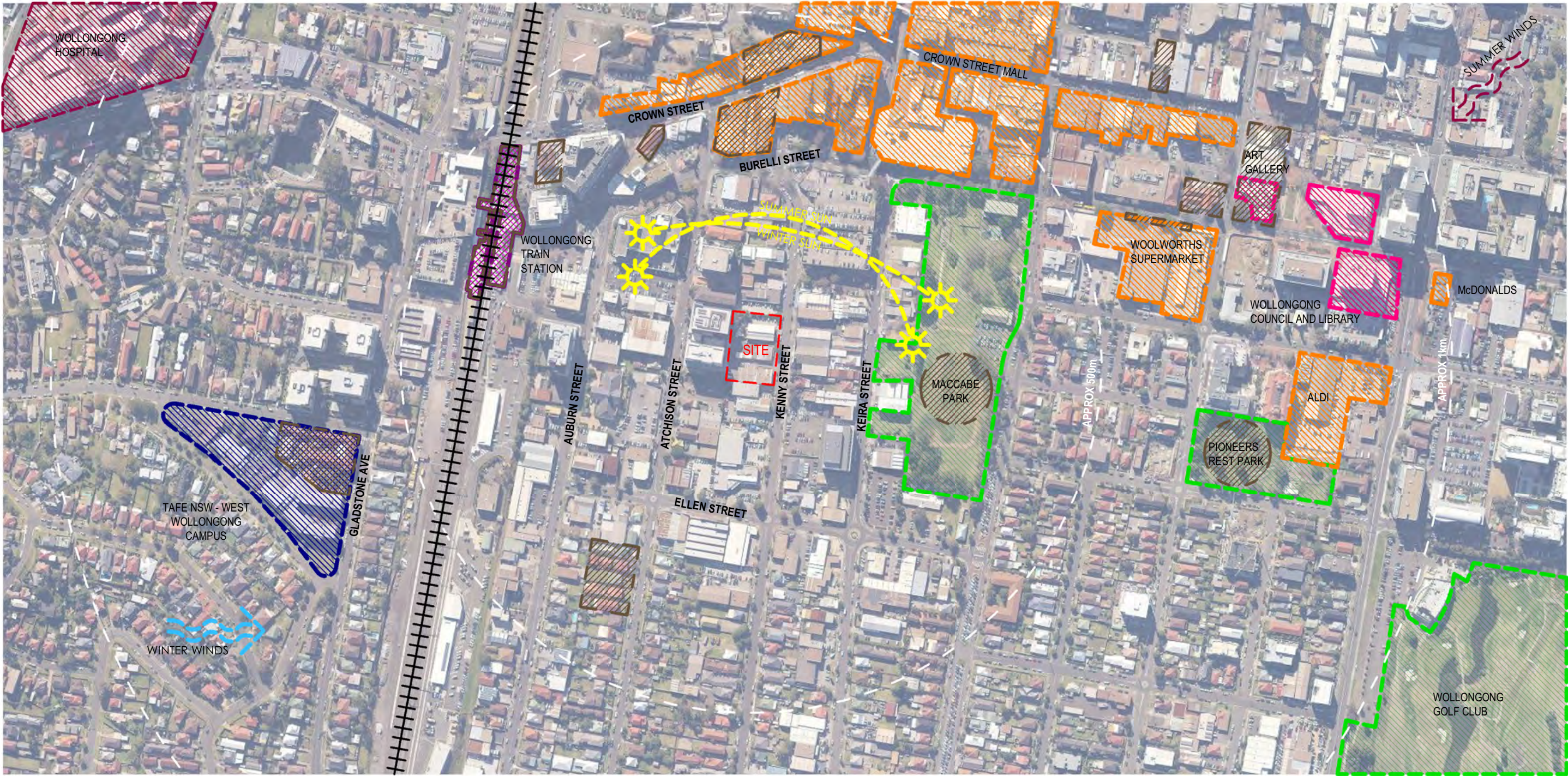
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REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: REGIONAL CONTEXT			ISSUE DATE: 12.06.2024 DRAWN: NT SCALE: RG QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>002 AA</b>
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ADDITIONAL INFORMATION





LOCAL CONTEXT

NTS

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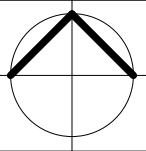
**Sydney**  
Level 10, 6 Mount  
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Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: LOCAL CONTEXT

LEGEND

- |  |                            |  |                             |
|--|----------------------------|--|-----------------------------|
|  | PROPOSED DEVELOPMENT       |  | EDUCATION FACILITY          |
|  | PARKS AND RECREATION AREAS |  | PUBLIC TRANSPORT FACILITIES |
|  | BEACHES                    |  | MEDICAL FACILITIES          |
|  | LOCAL SHOPS                |  | HERITAGE ITEMS              |
|  | ENTERTAINMENT AREAS        |  |                             |

ADDITIONAL INFORMATION



ISSUE DATE: 12.06.2024  
DRAWN: NT  
SCALE: RG  
QA: RG

PROJECT No. 2563  
DWG No. 003  
Rev. AA





DETAILED CONTEXTUAL ANALYSIS

NTS

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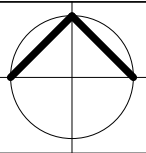
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Nominated Architect:  
Robert Gizzi (Reg. 8286)

**CLIENT:** BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
**ADDRESS:** 22-30 KENNY STREET,  
WOLLONGONG, NSW  
**DRAWING NAME:** DETAILED CONTEXTUAL ANALYSIS

LEGEND

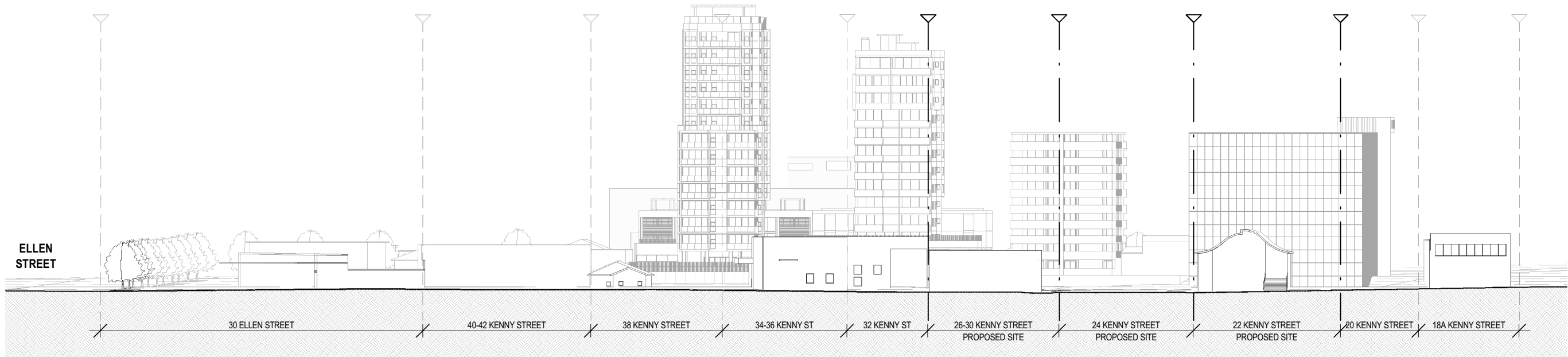
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|  | PROPOSED DEVELOPMENT       |  | EDUCATION FACILITY          |
|  | PARKS AND RECREATION AREAS |  | PUBLIC TRANSPORT FACILITIES |
|  | BEACHES                    |  | MEDICAL FACILITIES          |
|  | LOCAL SHOPS                |  | HERITAGE ITEMS              |
|  | ENTERTAINMENT AREAS        |  |                             |

ADDITIONAL INFORMATION



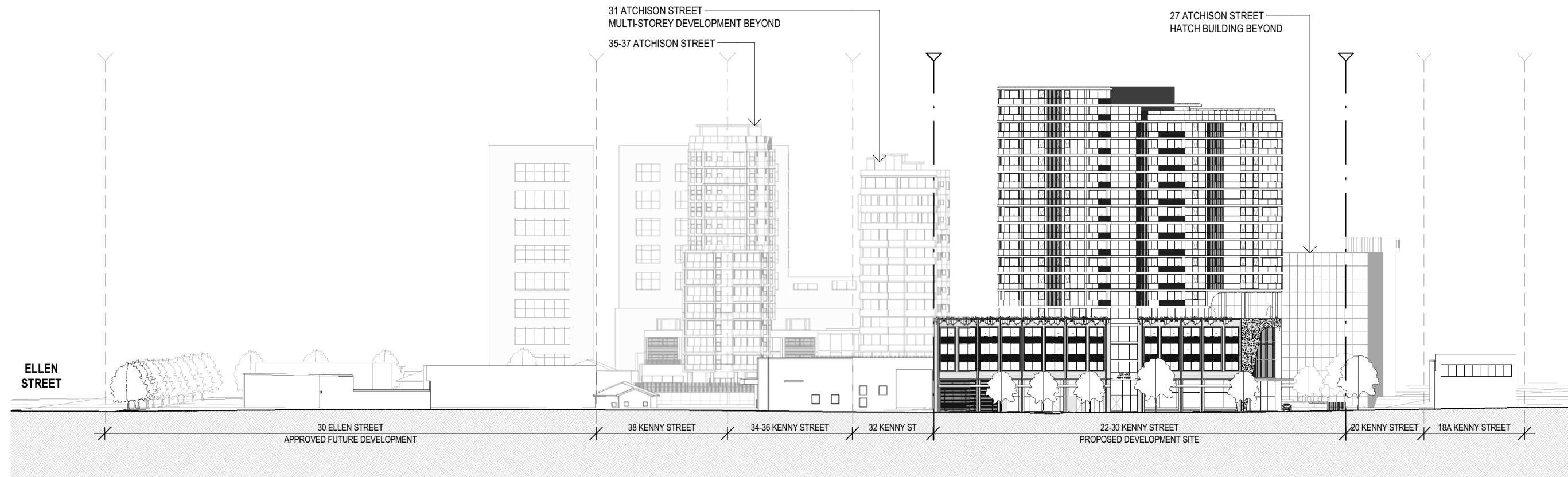
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DRAWN:	NT	DWG No.	004
SCALE:	RG	Rev.	AA
QA:	RG		





STREETSCAPE ANALYSIS - EXISTING STREETSCAPE

1 : 800



STREETSCAPE ANALYSIS - PROPOSED STREETSCAPE

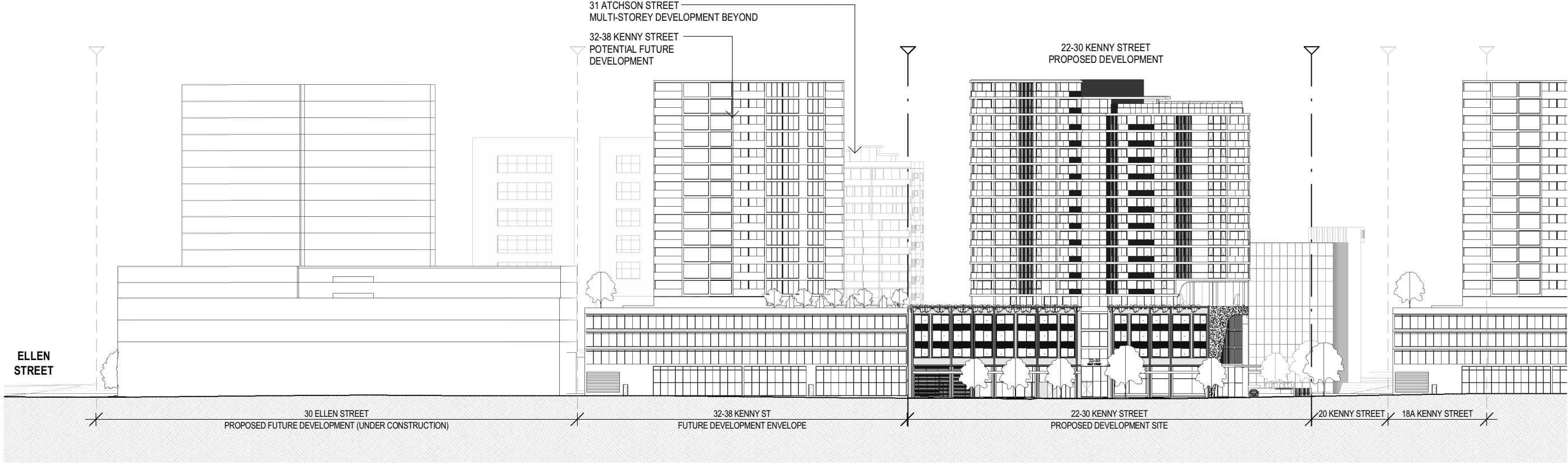
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ADDITIONAL INFORMATION






STREETSCAPE ANALYSIS - FUTURE

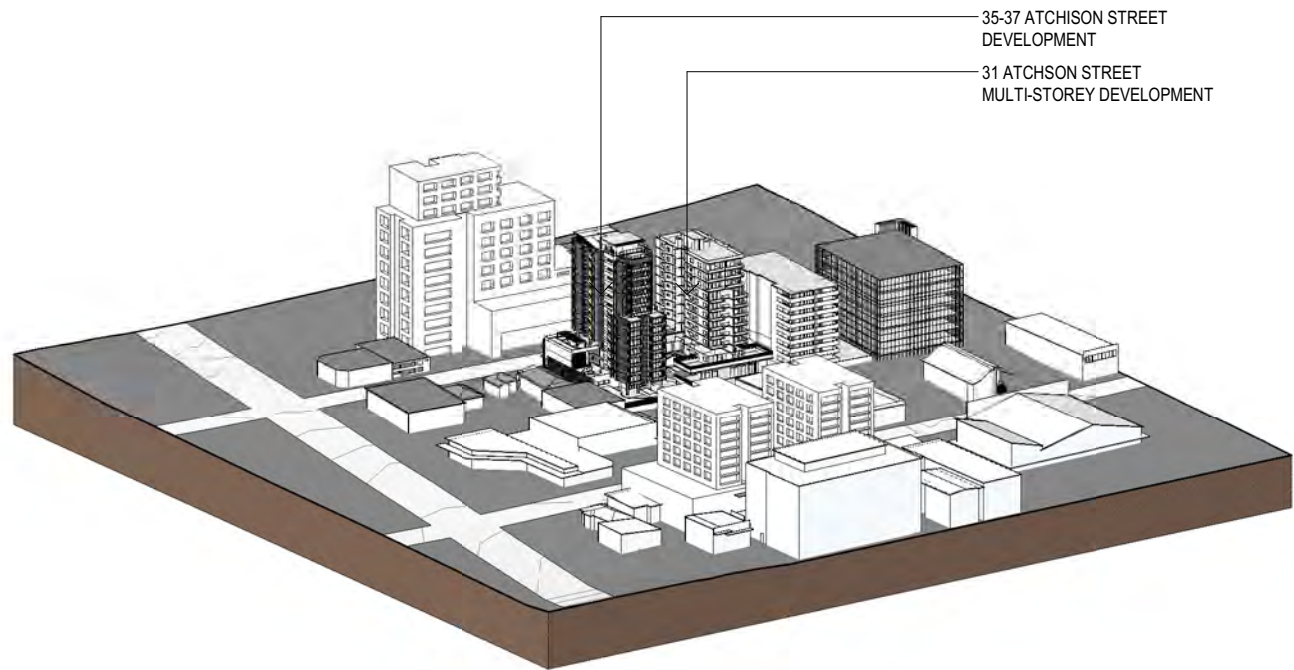
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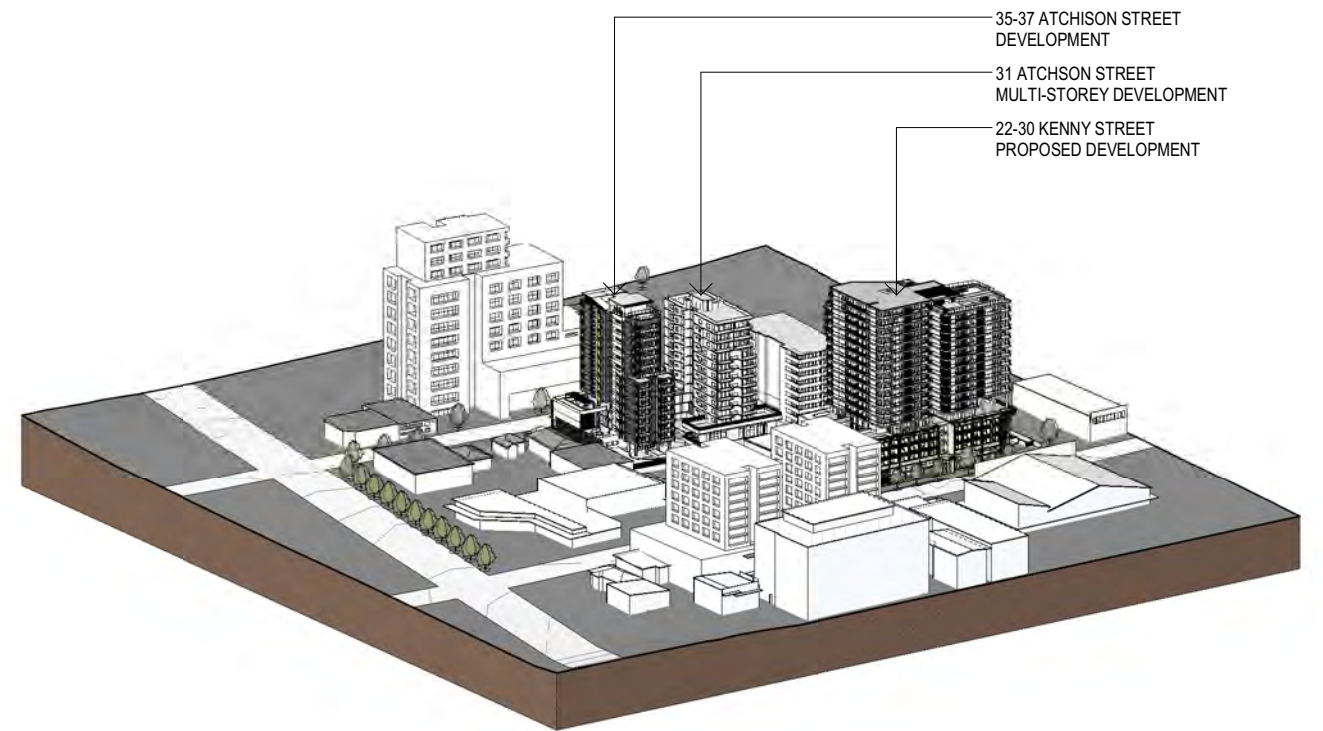
ADDITIONAL INFORMATION

REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	 DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT			ISSUE DATE: 12.06.2024	PROJECT No. <b>2563</b>
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.						ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW			DRAWN: NT / DM	DWG No. Rev. <b>006 AA</b>
						DRAWING NAME: CONTEXTUAL STREETSCAPE ANALYSIS			SCALE: QA: RG	

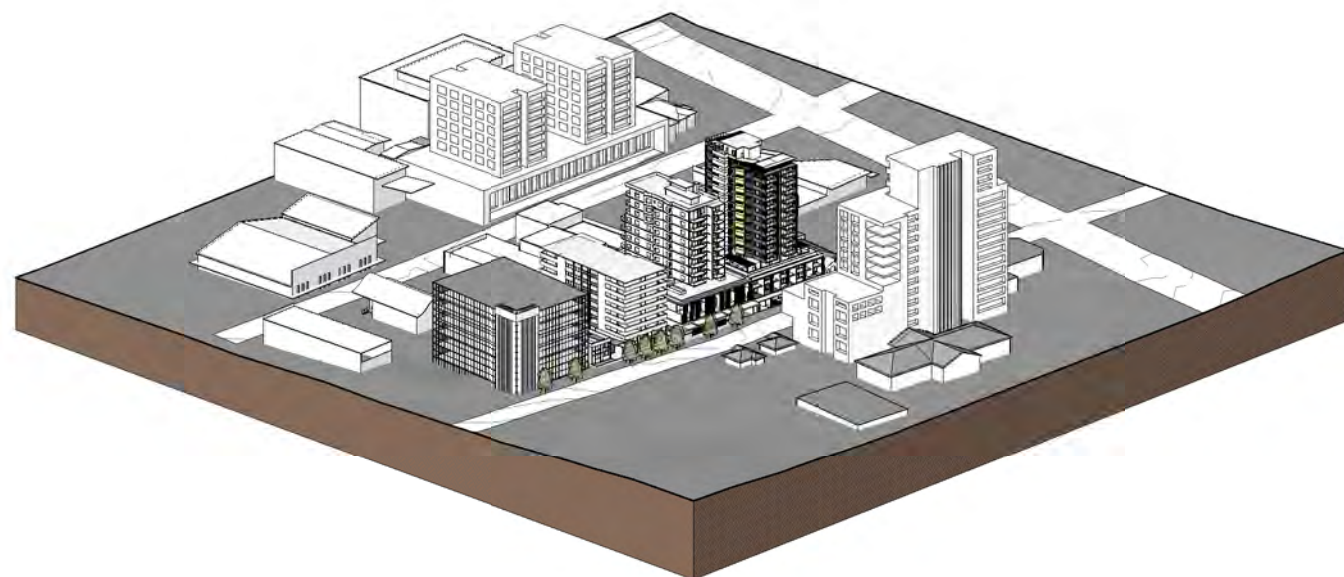




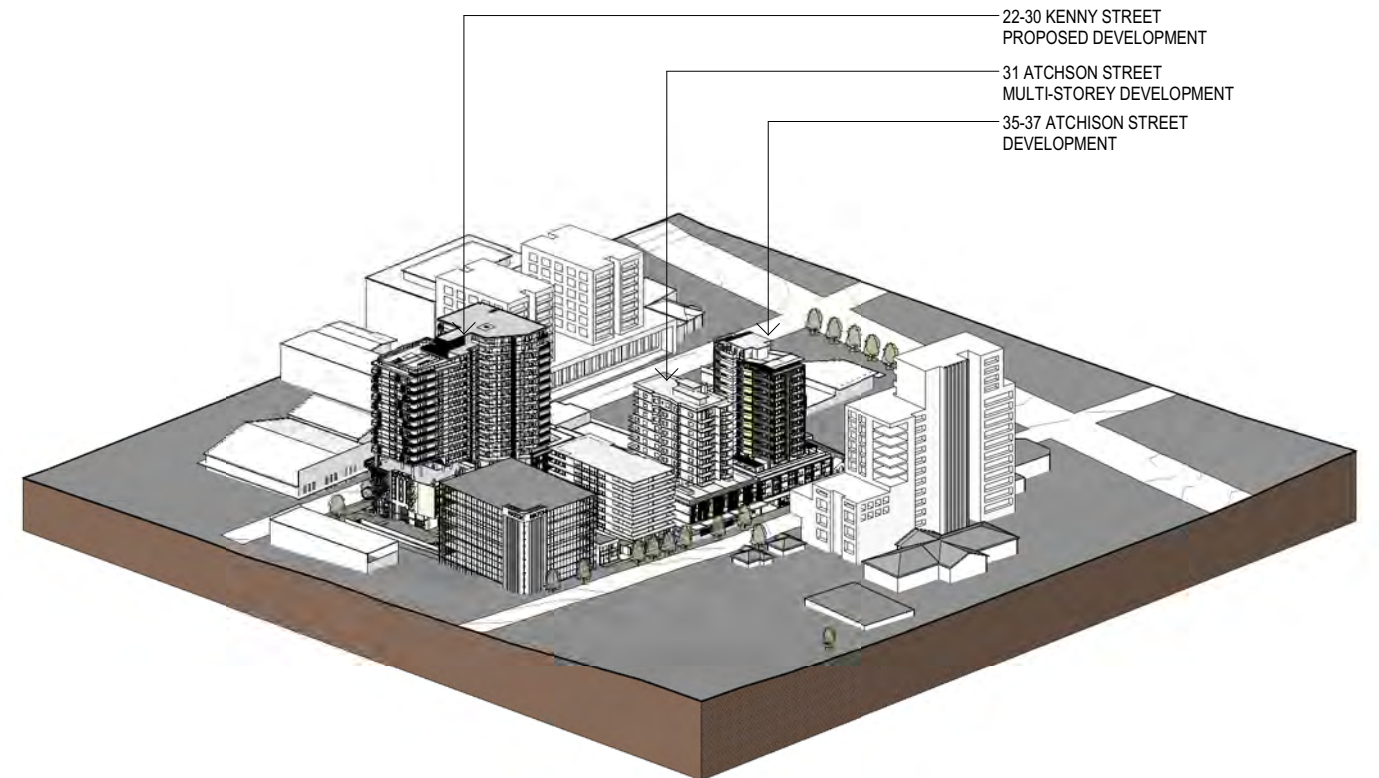
CONTEXTUAL 3D VIEW ANALYSIS - EXISTING - VIEW 1



CONTEXTUAL 3D VIEW ANALYSIS - PROPOSED - VIEW 1



CONTEXTUAL 3D VIEW ANALYSIS - EXISTING - VIEW 2



CONTEXTUAL 3D VIEW ANALYSIS - PROPOSED - VIEW 2

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AA	12.06.2024	ADDITIONAL INFORMATION

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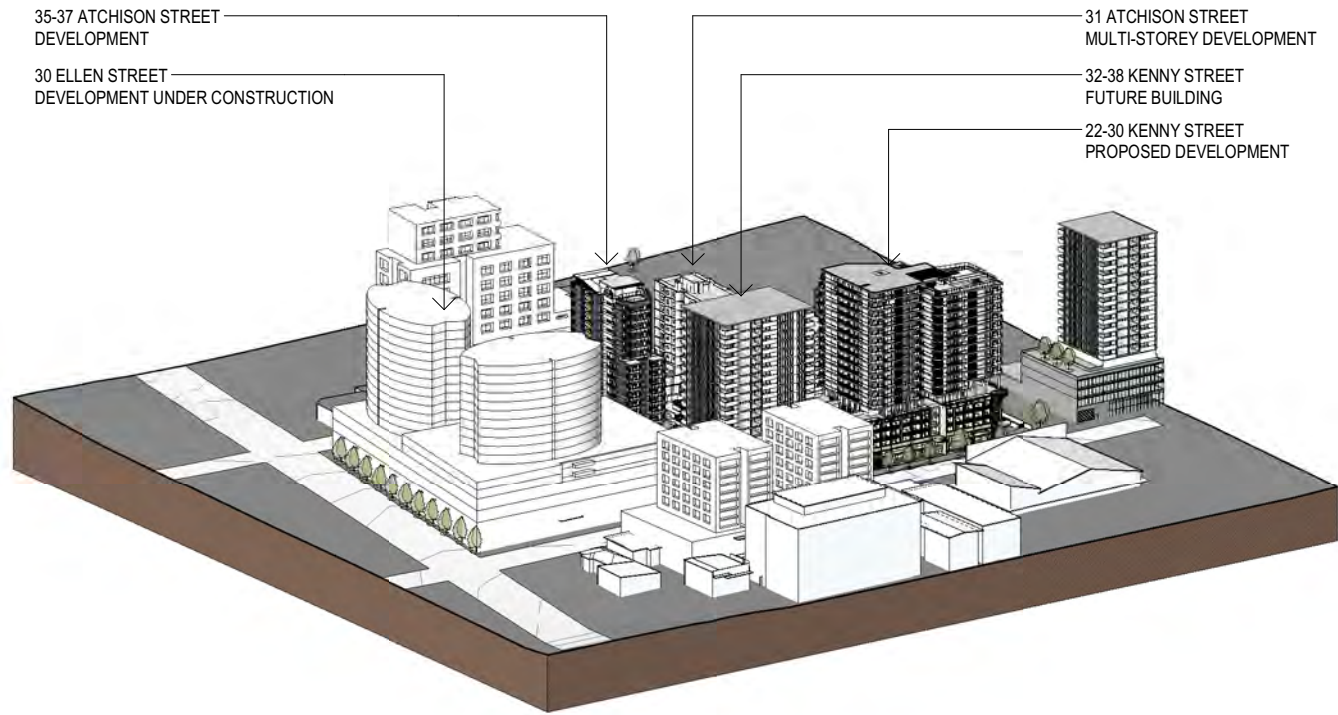
**Sydney**  
Level 10, 6 Mount  
Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: SURROUNDING CONTEXTUAL ANALYSIS

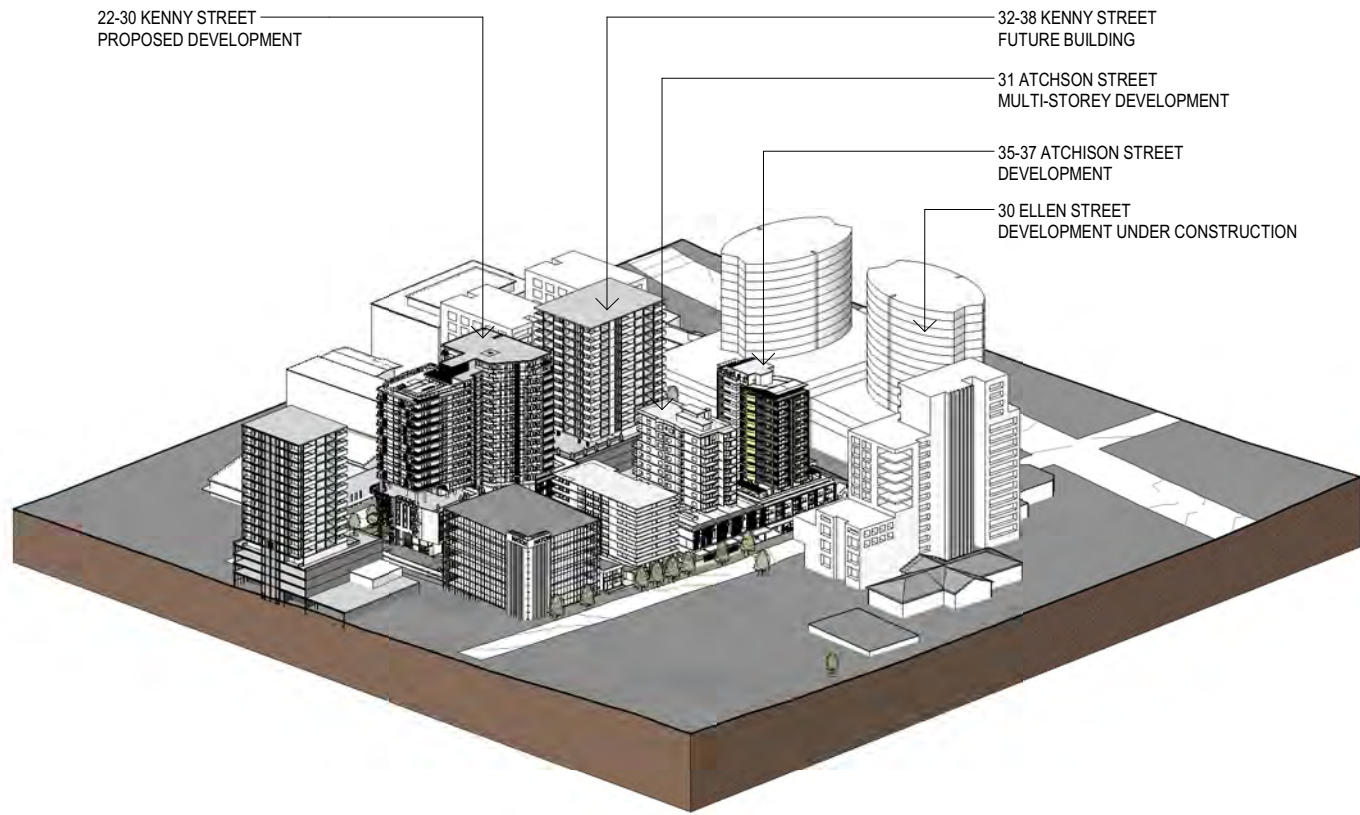
ISSUE DATE: 12.06.2024	PROJECT No. <b>2563</b>
DRAWN: NT / DM	DWG No. Rev. <b>007 AA</b>
SCALE: QA: RG	

## ADDITIONAL INFORMATION





CONTEXTUAL 3D VIEW ANALYSIS - FUTURE - VIEW 1



CONTEXTUAL 3D VIEW ANALYSIS - FUTURE - VIEW 2

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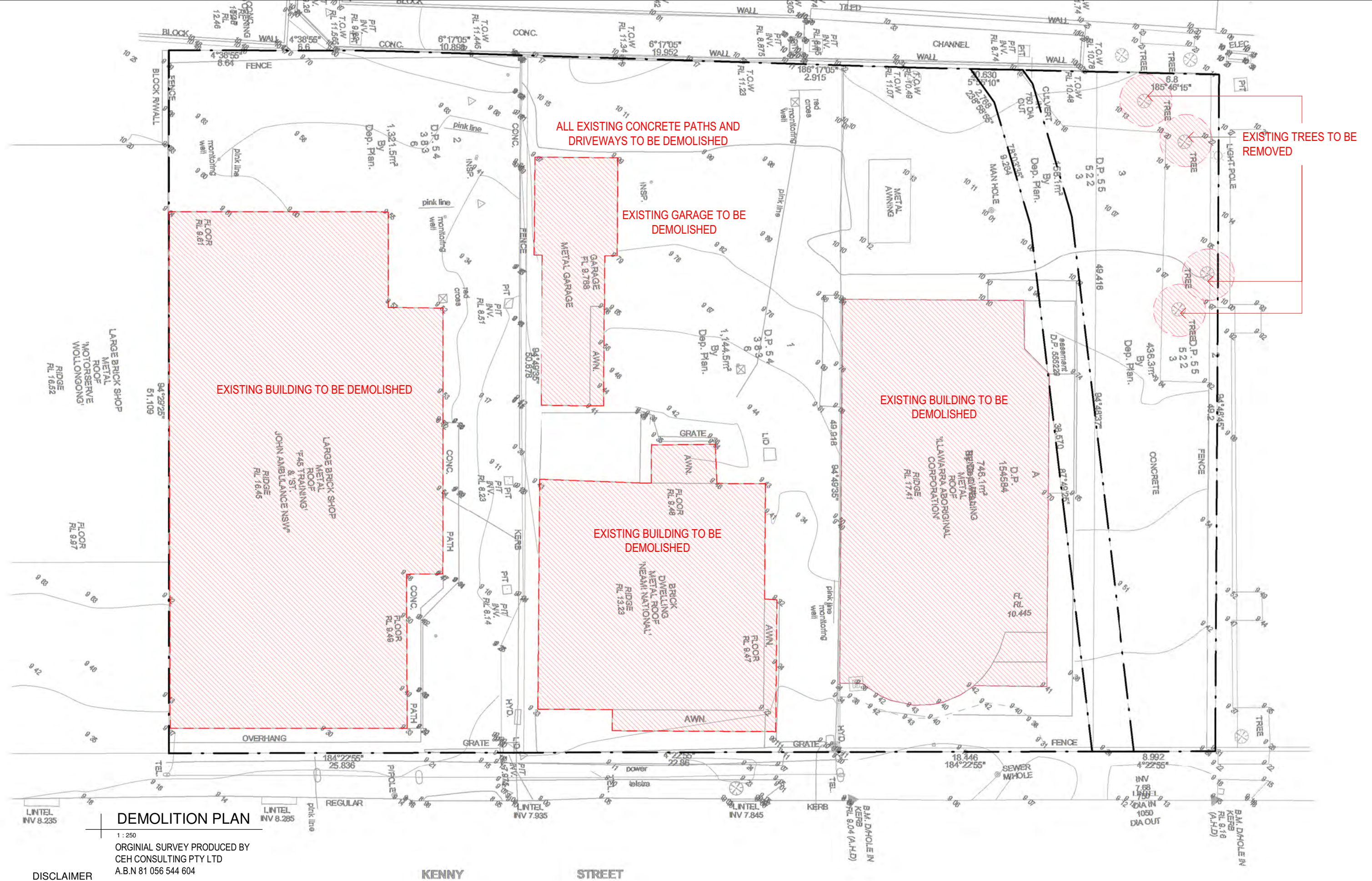
## ADDITIONAL INFORMATION

REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT	ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW	DRAWING NAME: SURROUNDING CONTEXTUAL ANALYSIS	ISSUE DATE: 12.06.2024	PROJECT No. <b>2563</b>
DISCLAIMER All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.									DRAWN: NT	DWG No. Rev. <b>008 AA</b>
									SCALE: RG	









## DEMOLITION PLAN

1 : 250

ORIGINAL SURVEY PRODUCED BY  
CEH CONSULTING PTY LTD  
A.B.N 81 056 544 604

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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

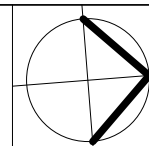
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Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: DEMOLITION PLAN

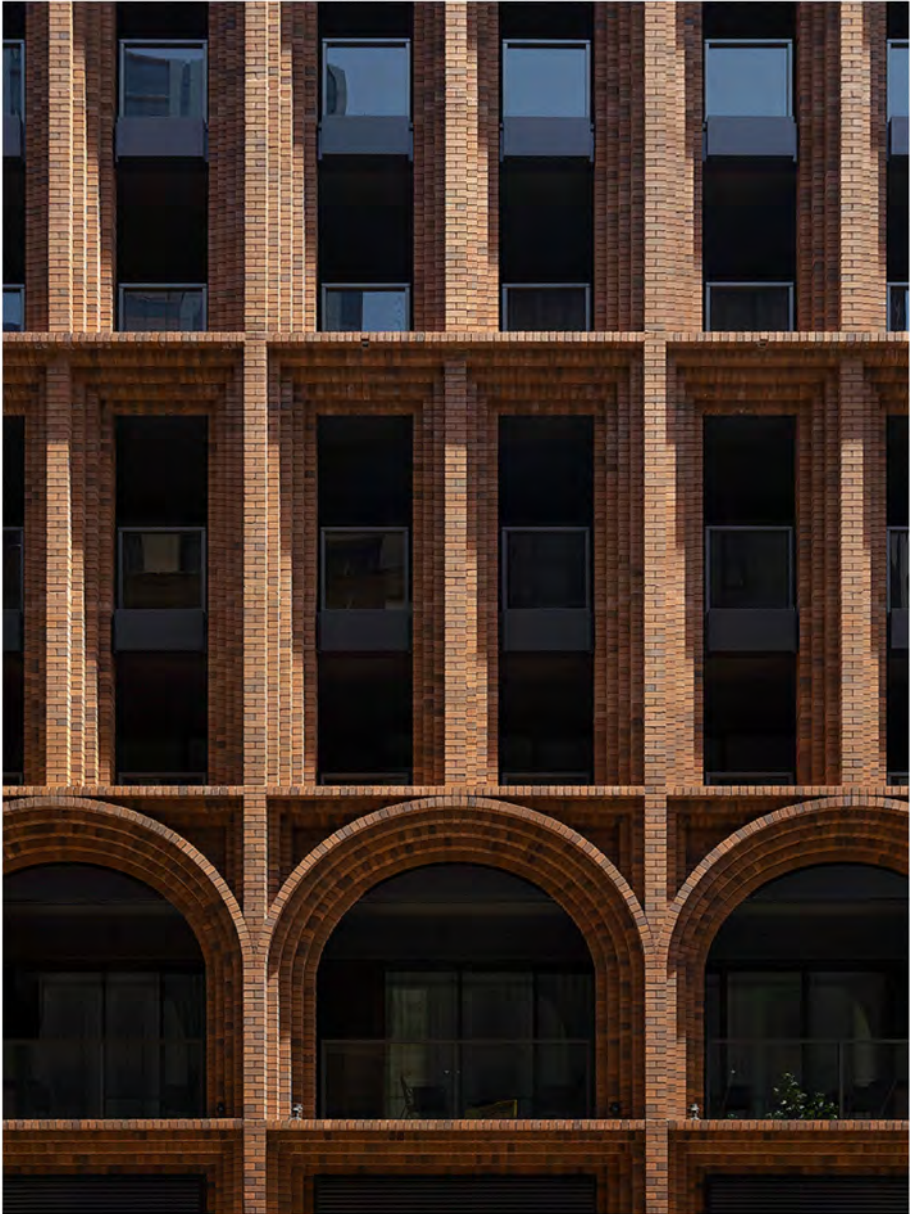


ISSUE DATE:  
12.06.2024  
DRAWN: NT / DM  
SCALE:  
QA: RG

PROJECT No.  
**2563**  
DWG No. Rev.  
**010 AA**

## ADDITIONAL INFORMATION





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REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION
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**DWA**  
DESIGN WORKSHOP AUSTRALIA

**Wollongong**  
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Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT

ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW

DRAWING NAME: PRECEDENCE

ISSUE DATE: 12.06.2024  
DRAWN: NT / DM  
SCALE: RG  
QA: RG

PROJECT No.  
**2563**

DWG No. Rev.  
**011 AA**





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ADDITIONAL INFORMATION

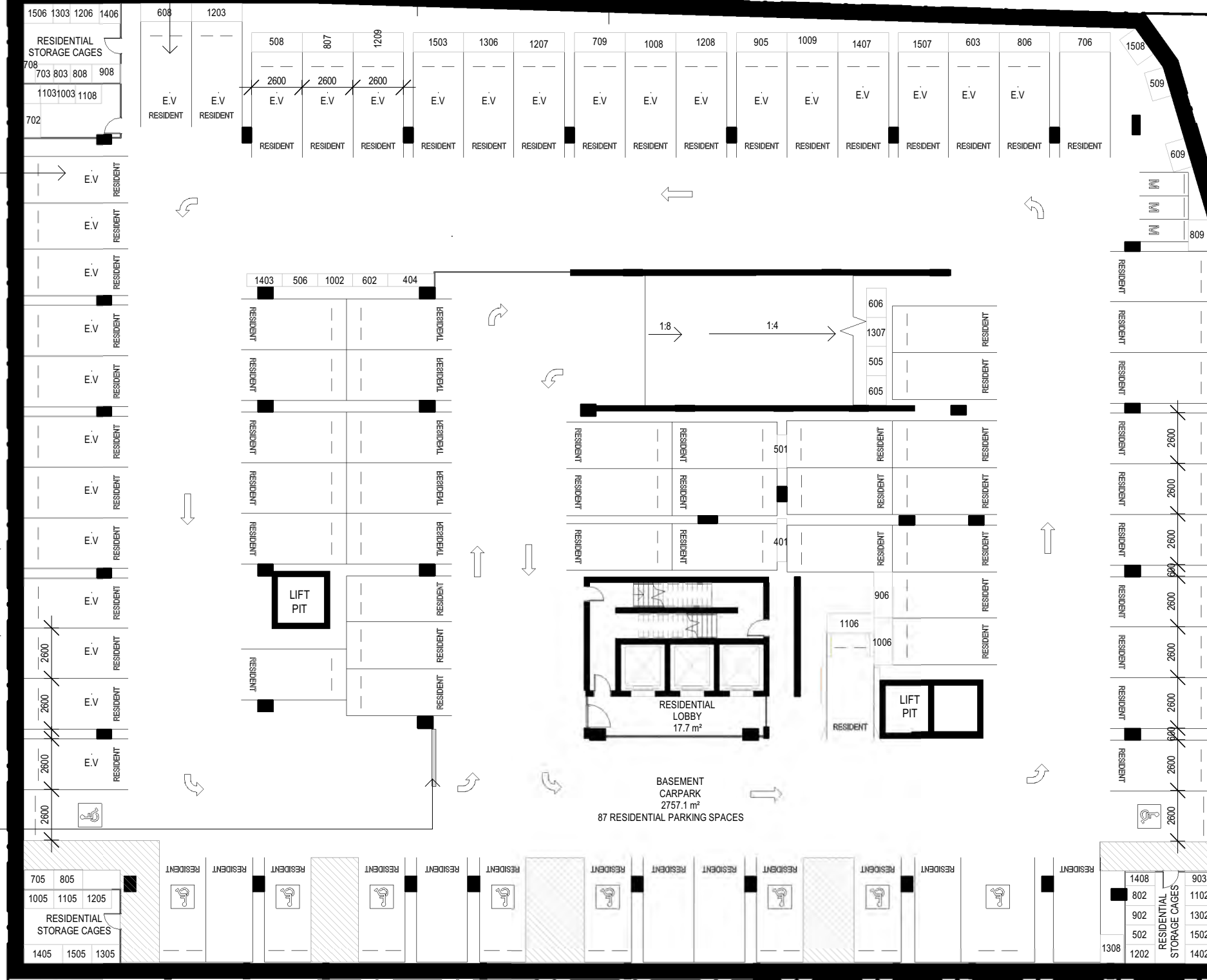
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: SITE PLAN	SCALE BAR: 0 5 10 15 20 25m		ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:500 QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>012 AA</b>
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PROVISION FOR EV CHARGING FACILITY

PROVISION FOR EV CHARGING FACILITY

GIVE WAY SIGN TO BE INSTALLED. REFER TO TRAFFIC PLANS.



KENNY STREET

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REF.	DATE	AMENDMENT
BB	03.07.2024	ADDITIONAL INFORMATION

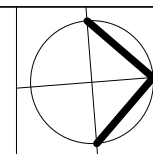
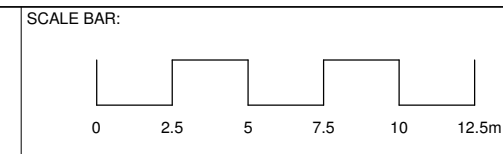
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Level 10, 6 Mount  
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Nominated Architect:  
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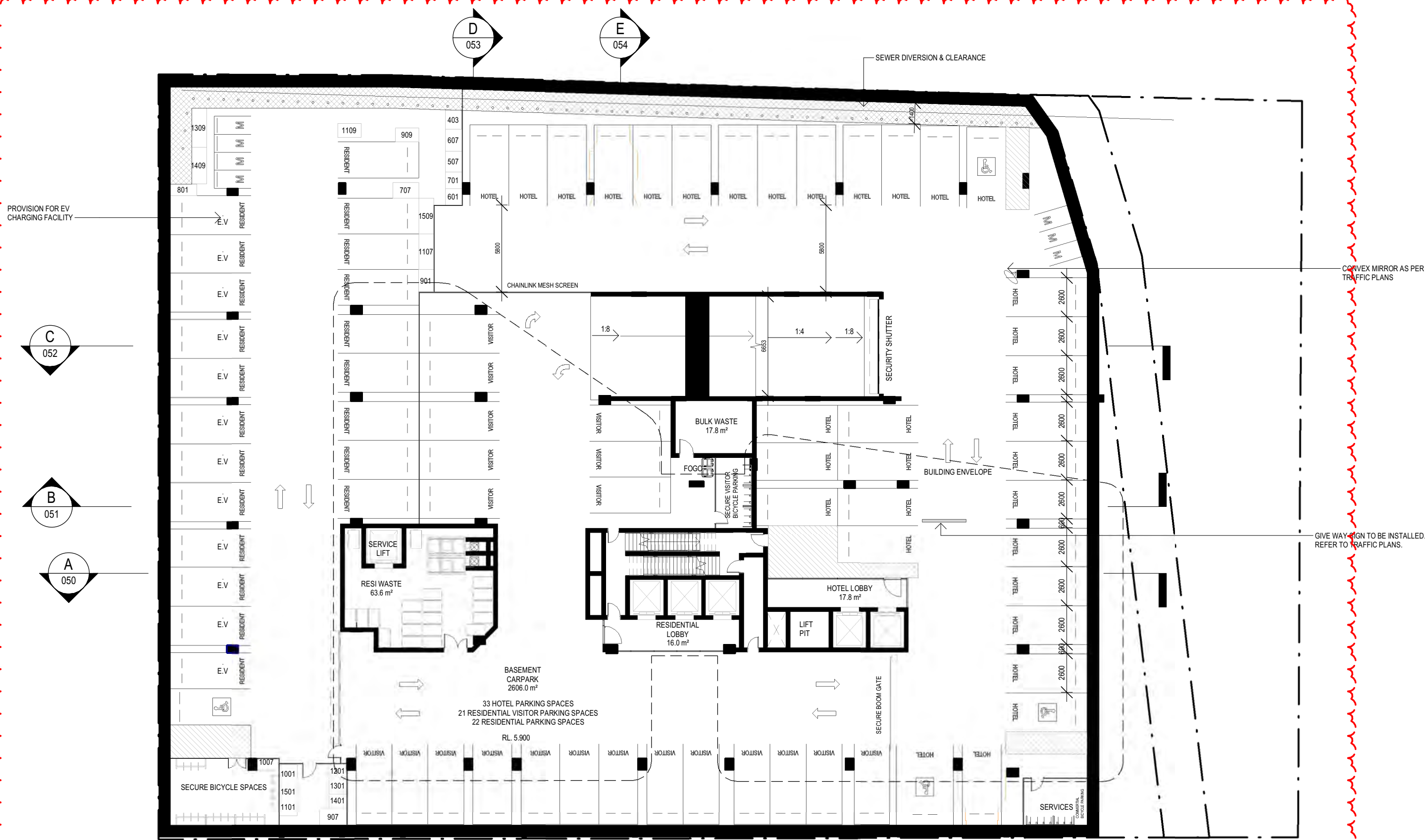
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MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: BASEMENT 2 PLAN



ISSUE DATE:	03.07.2024	PROJECT No.	2563
DRAWN:	NT/DM/ML	DWG No.	013
SCALE:	1:250	Rev.	BB
QA:	RG		

ADDITIONAL INFORMATION





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BB	03.07.2024	ADDITIONAL INFORMATION

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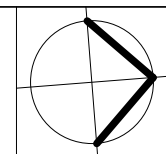
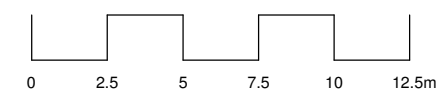


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Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: BASEMENT 1 PLAN

SCALE BAR:



ISSUE DATE: 03.07.2024  
DRAWN: NT/DM/ML  
SCALE: 1:250  
QA: RG

PROJECT No. 2563  
DWG No. 014  
Rev. BB



500mm CLEAR ZONE ABOVE  
SLAB LEVEL TO ALLOW OVERLAND FLOWS FROM  
ADJOINING PROPERTY

PROVISION FOR EV CHARGING FACILITY



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REF.	DATE	AMENDMENT
BB	03.07.2024	ADDITIONAL INFORMATION
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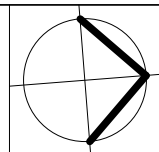
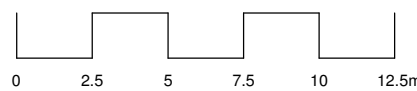


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ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: GROUND FLOOR PLAN

SCALE BAR:



ISSUE DATE:	03.07.2024	PROJECT No.	2563
DRAWN:	NT/DM/ML	DWG No.	015
SCALE:	1:250	Rev.	BB
QA:	RG		









LEVEL 2  
1 : 250

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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

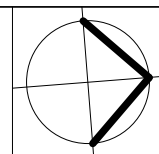
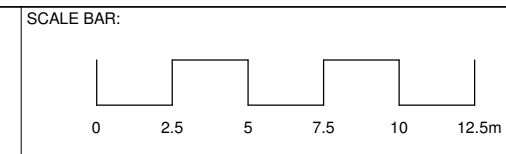
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Nominated Architect:  
Robert Gizzi (Reg. 8286)

**CLIENT:** BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
**ADDRESS:** 22-30 KENNY STREET,  
WOLLONGONG, NSW  
**DRAWING NAME:** LEVEL 2 PLAN

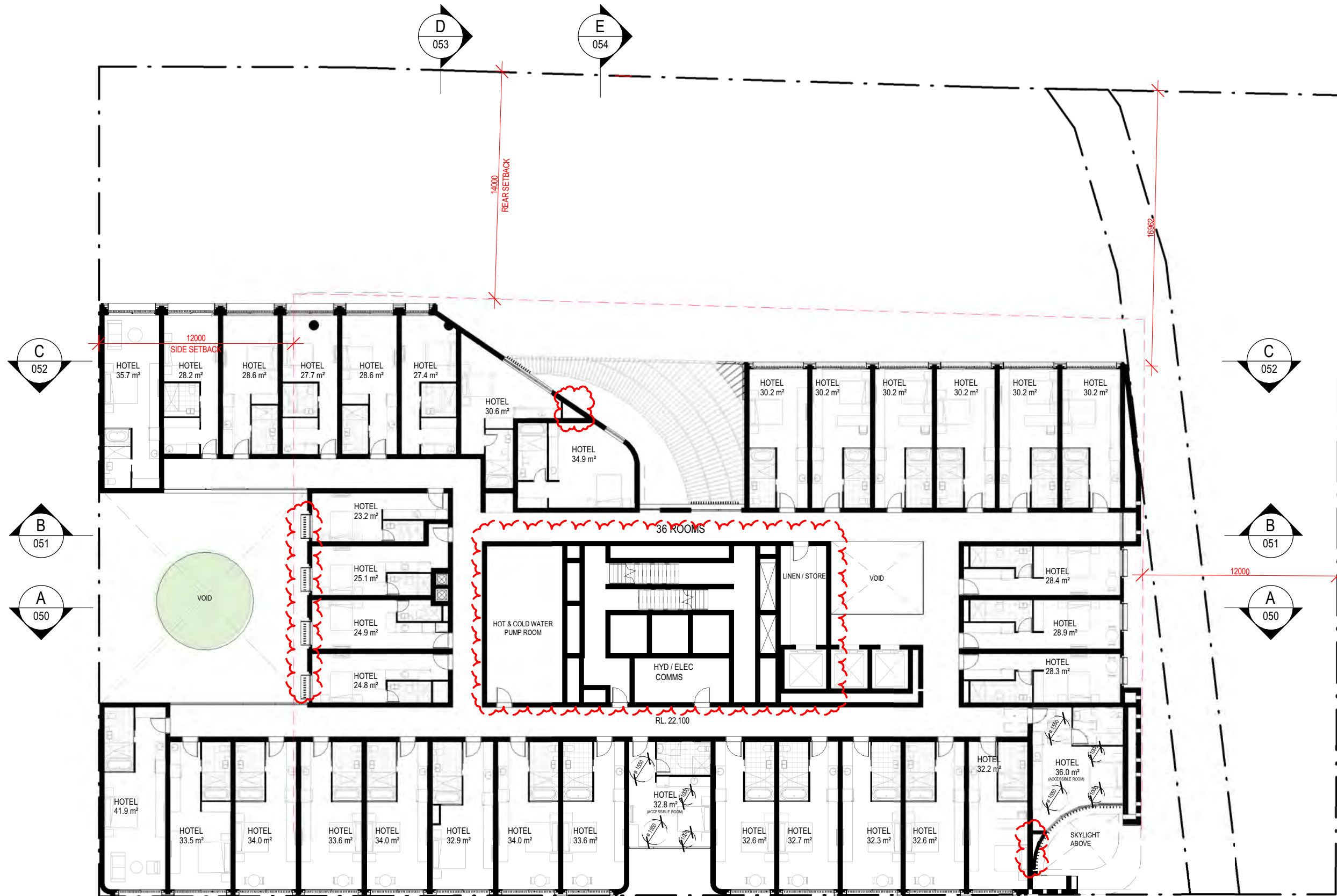


**ISSUE DATE:** 12.06.2024  
**DRAWN:** NT/DM/ML  
**SCALE:** 1:250  
**QA:** RG

**PROJECT No.** 2563  
**DWG No.** 017  
**Rev.** AA

## ADDITIONAL INFORMATION





KENNY STREET

LEVEL 3

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1 : 250  
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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

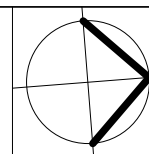
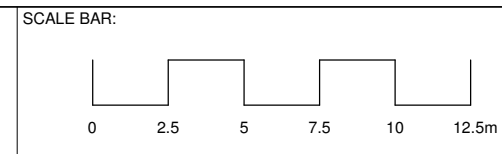
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Nominated Architect:  
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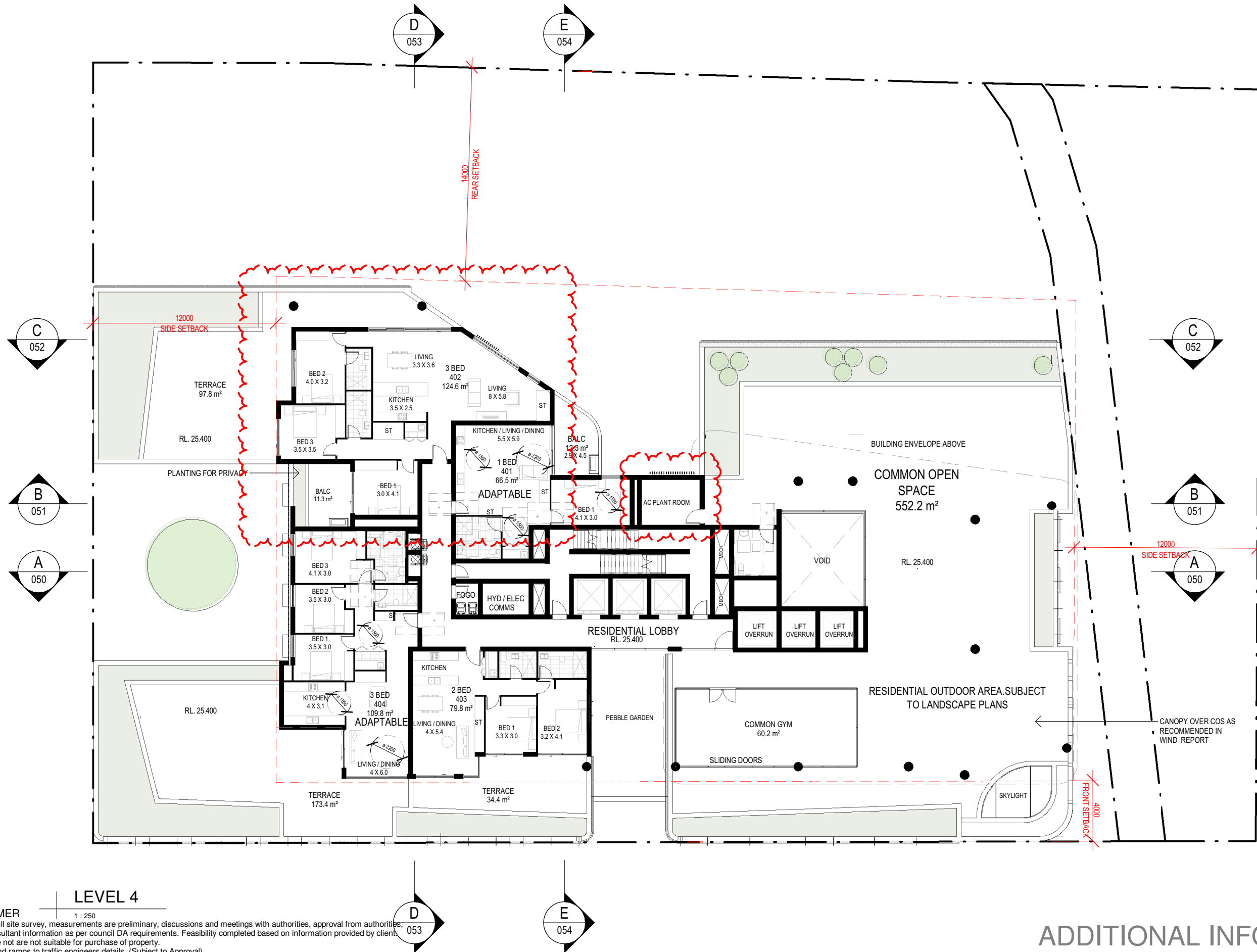
CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: LEVEL 3 PLAN



ISSUE DATE: 12.06.2024  
DRAWN: NT/DM/ML  
SCALE: 1:250  
QA: RG

PROJECT No. 2563  
DWG No. 018  
Rev. AA





# LEVEL 4

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REF.	DATE	AMENDMENT
CC	11.07.2024	ADDITIONAL INFORMATION

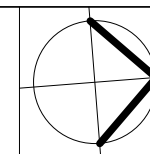
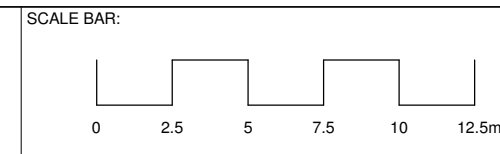
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Nominated Architect:  
Robert Gizzi (Reg. 8286)

**CLIENT:** BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
**ADDRESS:** 22-30 KENNY STREET,  
WOLLONGONG, NSW  
**DRAWING NAME:** LEVEL 4 PLAN

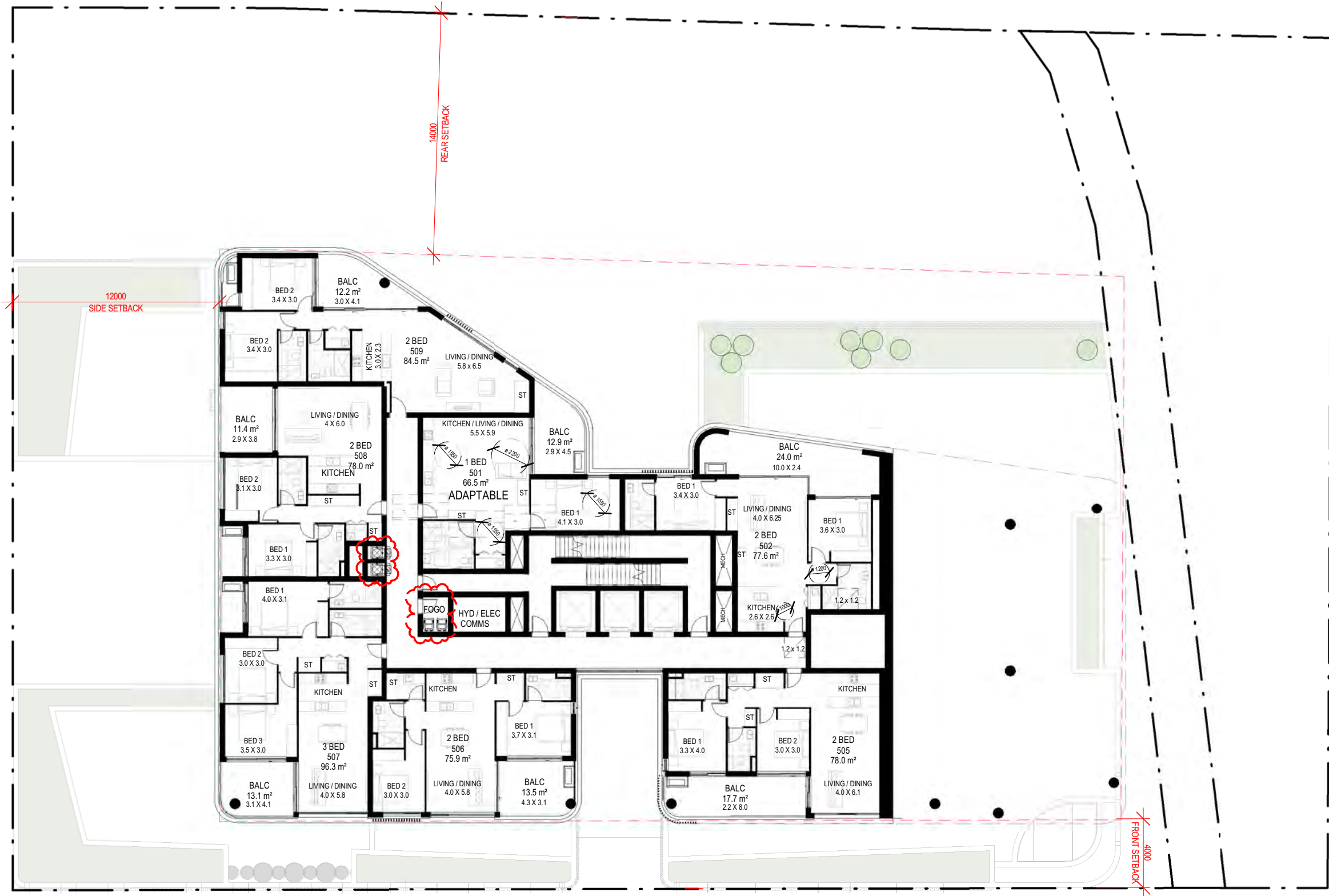


**ISSUE DATE:** 11.07.2024  
**DRAWN:** NT/DM/ML  
**SCALE:** 1:250  
**QA:** RG

**PROJECT No.** 2563  
**DWG No.** 019  
**Rev.** CC

## ADDITIONAL INFORMATION





## LEVEL 5

### DISCLAIMER

1 : 250

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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

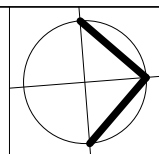
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**Sydney**  
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Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: LEVEL 5 PLAN



ISSUE DATE: 12.06.2024  
DRAWN: NT/DM/ML  
SCALE: QA: RG

PROJECT No. 2563  
DWG No. 020  
Rev. AA

## ADDITIONAL INFORMATION





TYPICAL FLOOR PLAN - LEVEL 6-15

DISCLAIMER

1 : 250

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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

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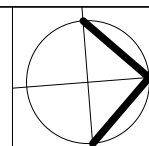
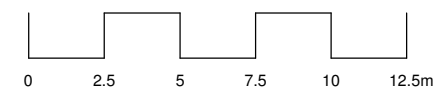


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Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: TYPICAL LEVEL - LEVEL 6-15

SCALE BAR:

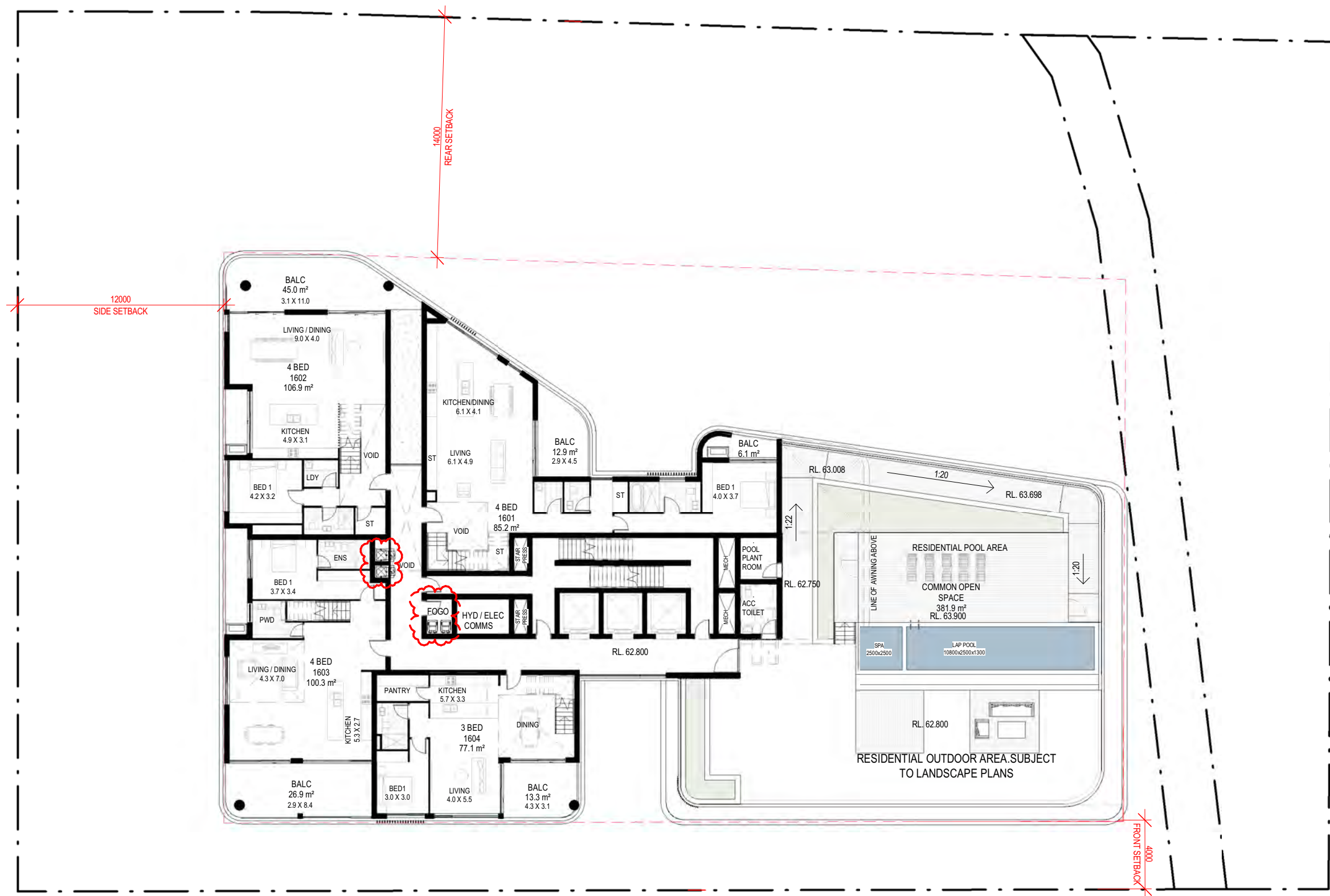


ISSUE DATE: 12.06.2024  
DRAWN: NT/DM/ML  
SCALE: 1:250  
QA: RG

PROJECT No. 2563  
DWG No. 021  
Rev. AA

ADDITIONAL INFORMATION





## LEVEL 16

### DISCLAIMER

1 : 250

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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

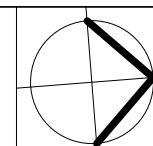
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Wolli Creek NSW 2205  
Nominated Architect:  
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ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: LEVEL 16 PLAN



ISSUE DATE: 12.06.2024	PROJECT No. <b>2563</b>
DRAWN: NT/DM/ML	DWG No. Rev. <b>022 AA</b>
SCALE: QA: RG	

## ADDITIONAL INFORMATION





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LEVEL 17

1 : 250

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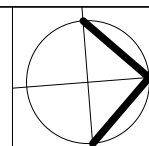
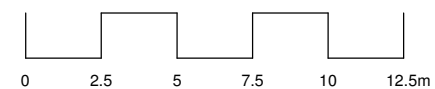


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Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: LEVEL 17 PLAN

SCALE BAR:



ISSUE DATE: 12.06.2024  
DRAWN: NT/DM/ML  
SCALE: 1:250  
QA: RG

PROJECT No. 2563  
DWG No. 023  
Rev. AA

ADDITIONAL INFORMATION





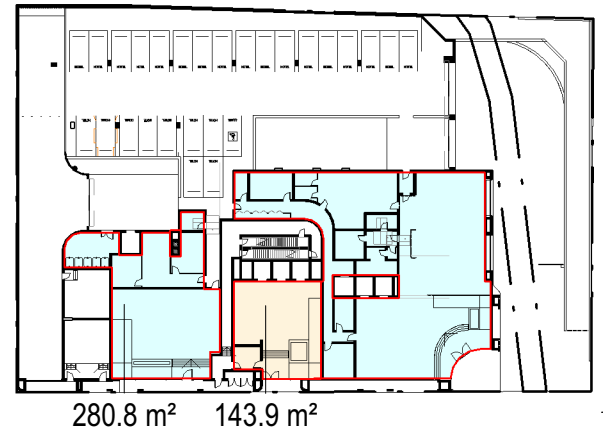
KENNY STREET

DISCLAIMER  
1 : 250  
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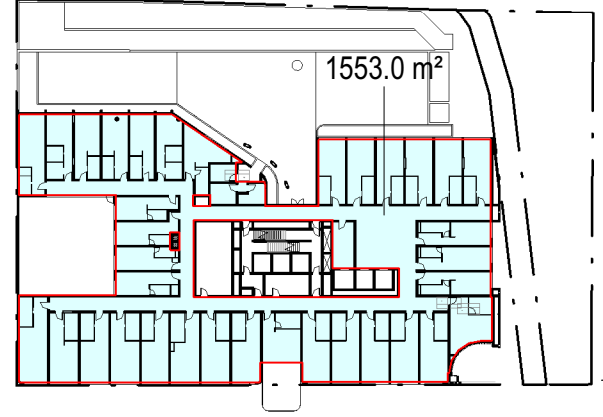
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: ROOF PLAN	SCALE BAR: 0 2.5 5 7.5 10 12.5m		ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:250 QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>024 AA</b>
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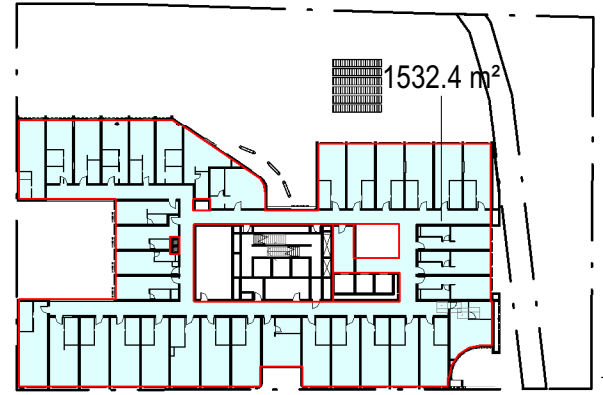
GROUND FL  
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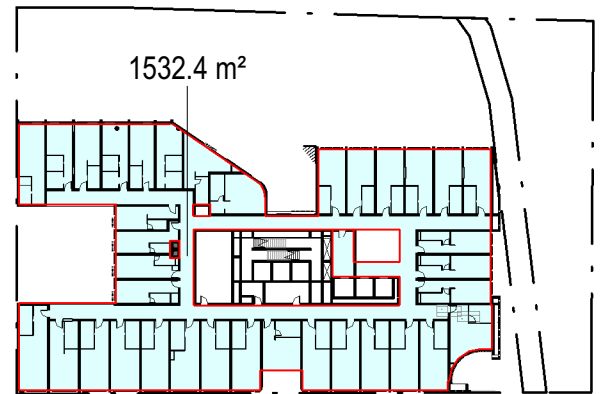
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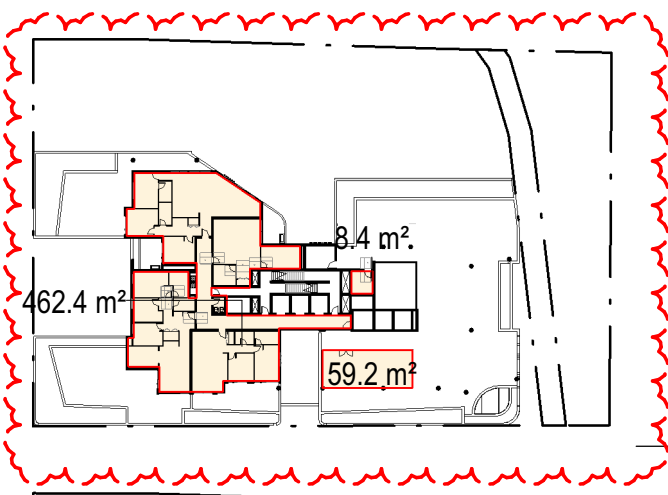
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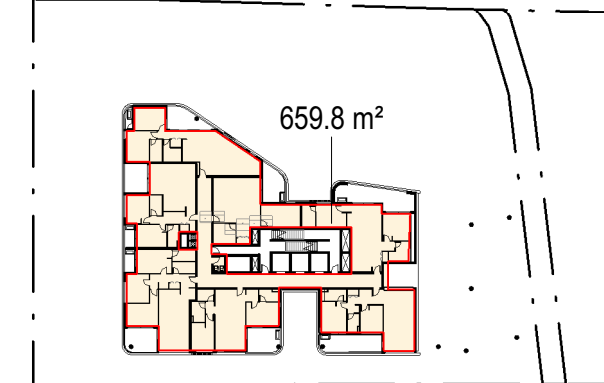
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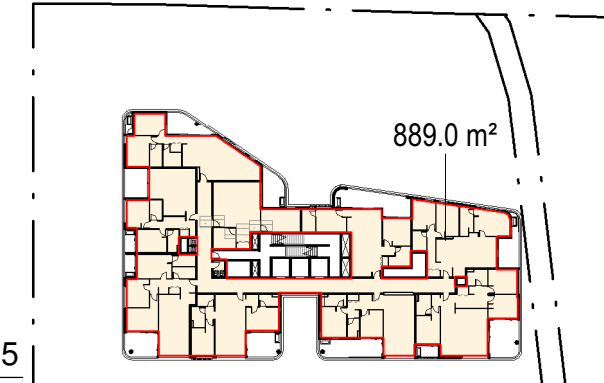
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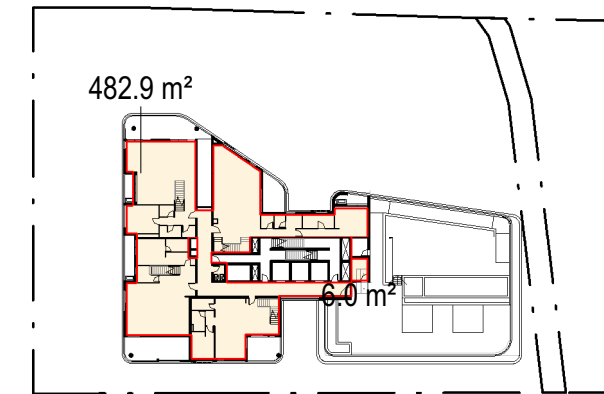
LEVEL 5  
1 : 1000



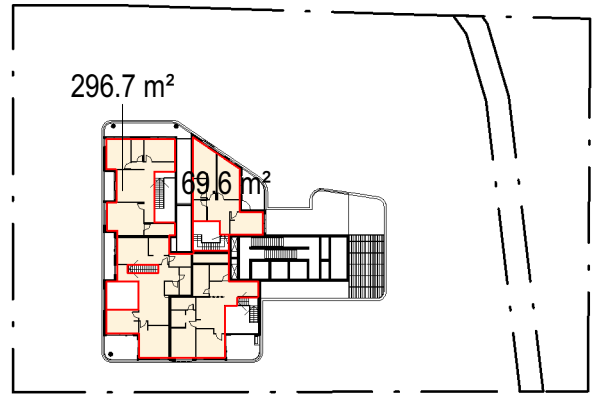
LEVEL 6-15  
1 : 1000



LEVEL 16  
1 : 1000



LEVEL 17  
1 : 1000



AREA TYPE BREAKDOWN (GFA)		
LEVEL	AREA	FSR
COMMERCIAL		
GROUND FL	905.60 m²	0.24
LEVEL 1	1553.02 m²	0.41
LEVEL 2	1532.36 m²	0.40
LEVEL 3	1532.45 m²	0.40
	5523.43 m²	1.44
RESIDENTIAL		
GROUND FL	143.88 m²	0.04
LEVEL 4	529.93 m²	0.14
LEVEL 5	659.80 m²	0.17
LEVEL 6	888.97 m²	0.23
LEVEL 7	888.97 m²	0.23
LEVEL 8	888.97 m²	0.23
LEVEL 9	888.97 m²	0.23
LEVEL 10	888.97 m²	0.23
LEVEL 11	888.97 m²	0.23
LEVEL 12	888.97 m²	0.23
LEVEL 13	888.97 m²	0.23
LEVEL 14	888.97 m²	0.23
LEVEL 15	888.97 m²	0.23
LEVEL 16	488.84 m²	0.13
LEVEL 17	366.30 m²	0.10
	11078.43 m²	2.89
	16601.86 m²	4.33

AREA SCHEDULE (GFA)		
LEVEL	AREA	FSR
GROUND FL	1049.48 m²	0.27
LEVEL 1	1553.02 m²	0.41
LEVEL 2	1532.36 m²	0.40
LEVEL 3	1532.45 m²	0.40
LEVEL 4	529.93 m²	0.14
LEVEL 5	659.80 m²	0.17
LEVEL 6	888.97 m²	0.23
LEVEL 7	888.97 m²	0.23
LEVEL 8	888.97 m²	0.23
LEVEL 9	888.97 m²	0.23
LEVEL 10	888.97 m²	0.23
LEVEL 11	888.97 m²	0.23
LEVEL 12	888.97 m²	0.23
LEVEL 13	888.97 m²	0.23
LEVEL 14	888.97 m²	0.23
LEVEL 15	888.97 m²	0.23
LEVEL 16	488.84 m²	0.13
LEVEL 17	366.30 m²	0.10
Grand total	16601.86 m²	4.33

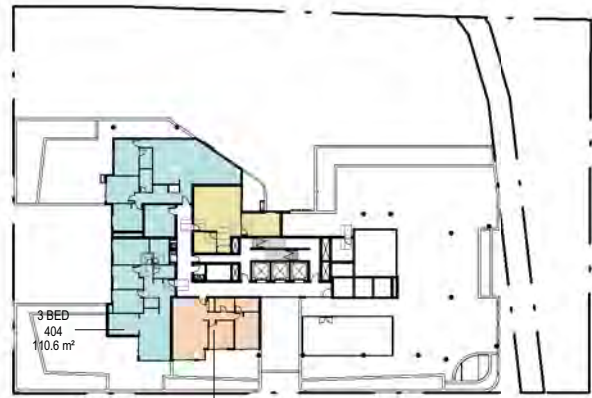
Site Area	3833		
	Area	%	Total Area
Non Res (NRFSR)	5523.43	33.27	16601.86
Res (RFSR)	11078.4	66.73	
	RFSR =	3.5	
	NRFSR =	6	
(NRFSR x NR / 100)	+	(RFSR x R / 100)	:1
1.996	+	2.336	:1
Allowable FSR	4.33 :1		
Allowable GFA	16603.6		
Proposed FSR	4.33 :1		
Area Difference	1.7		

ADDITIONAL INFORMATION

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REF. CC	DATE 11.07.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: GFA PLANS		ISSUE DATE: 11.07.2024 DRAWN: NT/DM/ML SCALE: RG QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>025 CC</b>
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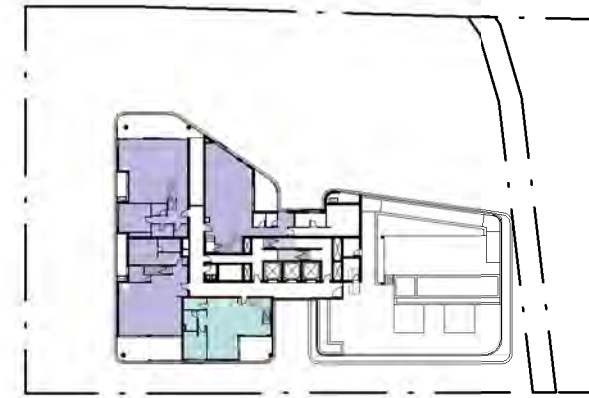
LEVEL 4  
1 : 1000



LEVEL 8  
1 : 1000



LEVEL 12  
1 : 1000



LEVEL 16  
1 : 1000



LEVEL 5  
1 : 1000



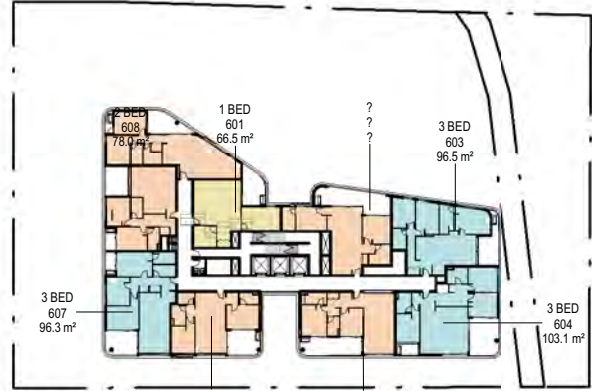
LEVEL 9  
1 : 1000



LEVEL 13  
1 : 1000



LEVEL 17  
1 : 1000



LEVEL 6  
1 : 1000



LEVEL 10  
1 : 1000



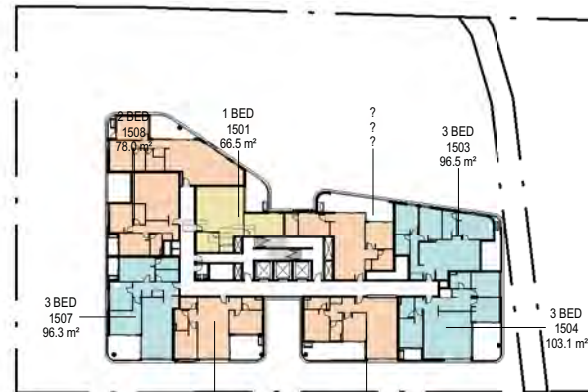
LEVEL 14  
1 : 1000



LEVEL 7  
1 : 1000



LEVEL 11  
1 : 1000



LEVEL 15  
1 : 1000

- 1 BED
- 2 BED
- 3 BED
- 3 BED 2ND LEVEL
- 3 BED (2ND LEVEL)
- 4 BED
- 4 BED (2ND LEVEL)

#### UNIT TYPE SCHEDULE

TYPES	NO OF ROOMS
1 BED	12
2 BED	56
3 BED	34
4 BED	3
TOTAL	105

#### ROOM SCHEDULE

UNIT #	UNIT TYPE	AREA
401	1 BED	66.5 m²
402	3 BED	143.1 m²
403	2 BED	79.8 m²
404	3 BED	110.6 m²
		399.9 m²

501	1 BED	66.5 m²
502	2 BED	77.6 m²
505	2 BED	78.0 m²
506	2 BED	75.9 m²
507	3 BED	96.3 m²
508	2 BED	78.0 m²
509	2 BED	84.5 m²
		556.8 m²

601	1 BED	66.5 m²
602	2 BED	77.5 m²
603	3 BED	96.5 m²
604	3 BED	103.1 m²
605	2 BED	78.0 m²
606	2 BED	76.1 m²
607	3 BED	96.3 m²
608	2 BED	78.0 m²
609	2 BED	84.5 m²
		756.5 m²

701	1 BED	66.5 m²
702	2 BED	77.5 m²
703	3 BED	96.5 m²
704	3 BED	103.1 m²
705	2 BED	78.0 m²
706	2 BED	76.1 m²
707	3 BED	96.3 m²
708	2 BED	78.0 m²
709	2 BED	84.5 m²
		756.5 m²

801	1 BED	66.5 m²
802	2 BED	77.5 m²
803	3 BED	96.5 m²
804	3 BED	103.1 m²
805	2 BED	78.0 m²

#### ROOM SCHEDULE

UNIT #	UNIT TYPE	AREA
806	2 BED	76.1 m²
807	3 BED	96.3 m²
808	2 BED	78.0 m²
809	2 BED	84.5 m²
		756.5 m²

901	1 BED	66.5 m²
902	2 BED	77.5 m²
903	3 BED	96.5 m²
904	3 BED	103.1 m²
905	2 BED	78.0 m²
906	2 BED	76.1 m²
907	3 BED	96.3 m²
908	2 BED	78.0 m²
909	2 BED	84.5 m²
		756.5 m²

1001	1 BED	66.5 m²
1002	2 BED	77.5 m²
1003	3 BED	96.5 m²
1004	3 BED	103.1 m²
1005	2 BED	78.0 m²
1006	2 BED	76.1 m²
1007	3 BED	96.3 m²
1008	2 BED	78.0 m²
1009	2 BED	84.5 m²
		756.5 m²

1101	1 BED	66.5 m²
1102	2 BED	77.5 m²
1103	3 BED	96.5 m²
1104	3 BED	103.1 m²
1105	2 BED	78.0 m²
1106	2 BED	76.1 m²
1107	3 BED	96.3 m²
1108	2 BED	78.0 m²
1109	2 BED	84.5 m²
		756.5 m²

1201	1 BED	66.5 m²
1202	2 BED	77.5 m²
1203	3 BED	96.5 m²
1204	3 BED	103.1 m²

#### ROOM SCHEDULE

UNIT #	UNIT TYPE	AREA
1205	2 BED	78.0 m²
1206	2 BED	76.1 m²
1207	3 BED	96.3 m²
1208	2 BED	78.0 m²
1209	2 BED	84.5 m²
		756.5 m²

1301	1 BED	66.5 m²
1302	2 BED	77.5 m²
1303	3 BED	96.5 m²
1304	3 BED	103.1 m²
1305	2 BED	78.0 m²
1306	2 BED	76.1 m²
1307	3 BED	96.3 m²
1308	2 BED	78.0 m²
1309	2 BED	84.5 m²
		756.5 m²

1401	1 BED	66.5 m²
1402	2 BED	77.5 m²
1403	3 BED	96.5 m²
1404	3 BED	103.1 m²
1405	2 BED	78.0 m²
1406	2 BED	76.1 m²
1407	3 BED	96.3 m²
1408	2 BED	78.0 m²
1409	2 BED	84.5 m²
		756.5 m²

1501	1 BED	66.5 m²
1502	2 BED	77.5 m²
1503	3 BED	96.5 m²
1504	3 BED	103.1 m²
1505	2 BED	78.0 m²
1506	2 BED	76.1 m²
1507	3 BED	96.3 m²
1508	2 BED	78.0 m²
1509	2 BED	84.5 m²
		756.5 m²

#### ROOM SCHEDULE (LEVEL 16 & 17)

UNIT #	UNIT TYPE	AREA
1601	4 BED	85.2 m²
1601	4 BED	69.8 m²
		155.1 m²
1602	4 BED	106.9 m²
1602	4 BED	91.5 m²
		198.4 m²
1603	4 BED	100.3 m²
1603	4 BED	107.6 m²
		207.9 m²
1604	3 BED	77.1 m²
1604	3 BED	88.4 m²
		165.6 m²
		726.9 m²

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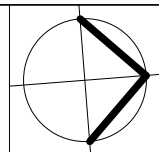
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.		



**Wollongong**  
81a Princes Highway,  
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Tel: (02) 4227 1661  
Email: info@designworkshop.com.au  
Web: www.designworkshop.com.au

**Sydney**  
Level 10, 6 Mount  
Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: UNIT KEY PLAN



ISSUE DATE: 12.06.2024	PROJECT No. 2563
DRAWN: NT/DM/ML	DWG No. 026
SCALE: RG	Rev. AA

## ADDITIONAL INFORMATION



STORAGE SCHEDULE					
	TYPE	D	W	H	VOL

401	1 BED				
BASEMENT 2	STORE (BASEMENT)	500	2198	2600	2.86 m³
LEVEL 4	STORE (INTERNAL)	700	1460	2700	2.76 m³
LEVEL 4	STORE (INTERNAL)	500	1600	2700	2.16 m³
					7.78 m³

402	3 BED				
LEVEL 4	STORE (INTERNAL)	1088	1985	2700	5.83 m³
LEVEL 4	STORE (INTERNAL)	850	1995	2700	4.58 m³
					10.41 m³

403	2 BED				
BASEMENT 1	STORE (BASEMENT)	1080	1262	2700	3.68 m³
LEVEL 4	STORE (INTERNAL)	600	3600	2700	5.83 m³
					9.51 m³

404	3 BED				
BASEMENT 2	STORE (BASEMENT)	673	2379	2700	4.33 m³
LEVEL 4	STORE (INTERNAL)	600	1200	2700	1.94 m³
LEVEL 4	STORE (INTERNAL)	700	1983	2700	3.75 m³
					10.02 m³

501	1 BED				
BASEMENT 2	STORE (BASEMENT)	500	1710	2600	2.22 m³
LEVEL 5	STORE (INTERNAL)	700	1460	2700	2.76 m³
LEVEL 5	STORE (INTERNAL)	500	1600	2700	2.16 m³
					7.14 m³

502	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 5	STORE (INTERNAL)	600	1900	2700	3.08 m³
LEVEL 5	STORE (INTERNAL)	500	900	2700	1.22 m³
					8.34 m³

505	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 5	STORE (INTERNAL)	850	1620	2700	3.72 m³
LEVEL 5	STORE (INTERNAL)	1000	600	2700	1.62 m³
					9.39 m³

506	2 BED				
BASEMENT 2	STORE (BASEMENT)	673	1800	2700	3.27 m³
LEVEL 5	STORE (INTERNAL)	600	1500	2700	2.43 m³
LEVEL 5	STORE (INTERNAL)	600	1600	2700	2.59 m³
					8.29 m³

507	3 BED				
BASEMENT 1	STORE (BASEMENT)	1100	1405	2600	4.02 m³
LEVEL 5	STORE (INTERNAL)	850	1250	2700	2.87 m³
LEVEL 5	STORE (INTERNAL)	800	1500	2700	3.24 m³
					10.13 m³

508	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	2615	2700	7.06 m³
LEVEL 5	STORE (INTERNAL)	1050	736	2700	2.09 m³
LEVEL 5	STORE (INTERNAL)	600	2950	2700	4.78 m³
					13.93 m³

509	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 5	STORE (INTERNAL)	850	1840	2700	4.22 m³
					8.27 m³

601	1 BED				
BASEMENT 1	STORE (BASEMENT)	1100	1095	2600	3.13 m³
LEVEL 6	STORE (INTERNAL)	700	1460	2700	2.76 m³
LEVEL 6	STORE (INTERNAL)	500	1600	2700	2.16 m³
					8.05 m³

602	2 BED				
BASEMENT 2	STORE (BASEMENT)	673	1800	2700	3.27 m³
LEVEL 6	STORE (INTERNAL)	600	1900	2700	3.08 m³
LEVEL 6	STORE (INTERNAL)	500	900	2700	1.22 m³
					7.57 m³

603	3 BED				
BASEMENT 2	STORE (BASEMENT)	2600	1004	2600	6.79 m³
LEVEL 6	STORE (INTERNAL)	550	1190	2700	1.77 m³
LEVEL 6	STORE (INTERNAL)	1590	1200	2700	5.15 m³
LEVEL 6	STORE (INTERNAL)	600	590	2400	0.85 m³
					14.56 m³

604	3 BED				
LEVEL 6	STORE (INTERNAL)	4233	650	2700	7.43 m³
LEVEL 6	STORE (INTERNAL)	1000	705	2700	1.90 m³
LEVEL 6	STORE (INTERNAL)	400	1048	2700	1.13 m³
					10.46 m³

605	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 6	STORE (INTERNAL)	850	1620	2700	3.72 m³
LEVEL 6	STORE (INTERNAL)	1000	600	2700	1.62 m³
					9.39 m³

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REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION
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STORAGE SCHEDULE					
	TYPE	D	W	H	VOL

606	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 6	STORE (INTERNAL)	600	1500	2700	2.43 m³
LEVEL 6	STORE (INTERNAL)	600	1600	2700	2.59 m³
					9.07 m³

607	3 BED				
BASEMENT 1	STORE (BASEMENT)	1100	1450	2600	4.15 m³
LEVEL 6	STORE (INTERNAL)	850	1250	2700	2.87 m³
LEVEL 6	STORE (INTERNAL)	800	1500	2700	3.24 m³
					10.26 m³

608	2 BED				
BASEMENT 2	STORE (BASEMENT)	936	2601	2700	6.57 m³
LEVEL 6	STORE (INTERNAL)	1050	736	2700	2.09 m³
LEVEL 6	STORE (INTERNAL)	600	2950	2700	4.78 m³
					13.44 m³

609	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 6	STORE (INTERNAL)	850	1840	2700	4.22 m³
					8.27 m³

701	1 BED				
BASEMENT 1	STORE (BASEMENT)	1100	1095	2600	3.13 m³
LEVEL 7	STORE (INTERNAL)	700	1460	2700	2.76 m³
LEVEL 7	STORE (INTERNAL)	500	1600	2700	2.16 m³
					8.05 m³

702	2 BED				
BASEMENT 2	STORE (BASEMENT)	866	1730	2700	4.05 m³
LEVEL 7	STORE (INTERNAL)	600	1900	2700	3.08 m³
LEVEL 7	STORE (INTERNAL)	500	900	2700	1.22 m³
					8.34 m³

703	3 BED				
BASEMENT 2	STORE (BASEMENT)	1000	920	2700	2.48 m³
LEVEL 7	STORE (INTERNAL)	550	1190	2700	1.77 m³
LEVEL 7	STORE (INTERNAL)	1590	1200	2700	5.15 m³
LEVEL 7	STORE (INTERNAL)	600	590	2400	0.85 m³
					10.25 m³

704	3 BED				
LEVEL 7	STORE (INTERNAL)	4233	650	2700	7.43 m³
LEVEL 7	STORE (INTERNAL)	1000	705	2700	1.90 m³
LEVEL 7	STORE (INTERNAL)	400	1048	2700	1.13 m³
					10.46 m³

705	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 7	STORE (INTERNAL)	850	1620	2700	3.72 m³
LEVEL 7	STORE (INTERNAL)	1000	600	2700	1.62 m³
					9.39 m³

706	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	2600	2700	7.02 m³
LEVEL 7	STORE (INTERNAL)	600	1500	2700	2.43 m³
LEVEL 7	STORE (INTERNAL)	600	1600	2700	2.59 m³
					12.04 m³

707	3 BED				
BASEMENT 1	STORE (BASEMENT)	1730	1041	2700	4.86 m³
LEVEL 7	STORE (INTERNAL)	850	1250	2700	2.87 m³
LEVEL 7	STORE (INTERNAL)	800	1500	2700	3.24 m³
					10.97 m³

708	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	600	2700	1.62 m³
LEVEL 7	STORE (INTERNAL)	1050	736	2700	2.09 m³
LEVEL 7	STORE (INTERNAL)	600	2950	2700	4.78 m³
					8.49 m³

709	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	2598	2700	7.01 m³
LEVEL 7	STORE (INTERNAL)	850	1840	2700	4.22 m³
					11.24 m³

801	1 BED				
BASEMENT 1	STORE (BASEMENT)	764	1750	2600	3.48 m³
LEVEL 8	STORE (INTERNAL)	700	1460	2700	2.76 m³
LEVEL 8	STORE (INTERNAL)	500	1600	2700	2.16 m³
					8.39 m³

802	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 8	STORE (INTERNAL)	600	1900	2700	3.08 m³
LEVEL 8	STORE (INTERNAL)	500	900	2700	1.22 m³
					8.34 m³

803	3 BED				
BASEMENT 2	STORE (BASEMENT)	1000	875	2700	2.36 m³
LEVEL 8	STORE (INTERNAL)	550	1190	2700	1.77 m³
LEVEL 8	STORE (INTERNAL)	1590	1200	2700	5.15 m³
LEVEL 8	STORE (INTERNAL)	600	590	2400	0.85 m³
					10.13 m³

STORAGE SCHEDULE					
	TYPE	D	W	H	VOL

804	3 BED				
LEVEL 8	STORE (INTERNAL)	4233	650	2700	7.43 m³
LEVEL 8	STORE (INTERNAL)	1000	705	2700	1.90 m³
LEVEL 8	STORE (INTERNAL)	400	1048	2700	1.13 m³
					10.46 m³

805	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m³
LEVEL 8	STORE (INTERNAL)	850	1620	2700	3.72 m³
LEVEL 8	STORE (INTERNAL)	1000	600	2700	1.62 m³
					9.39 m³

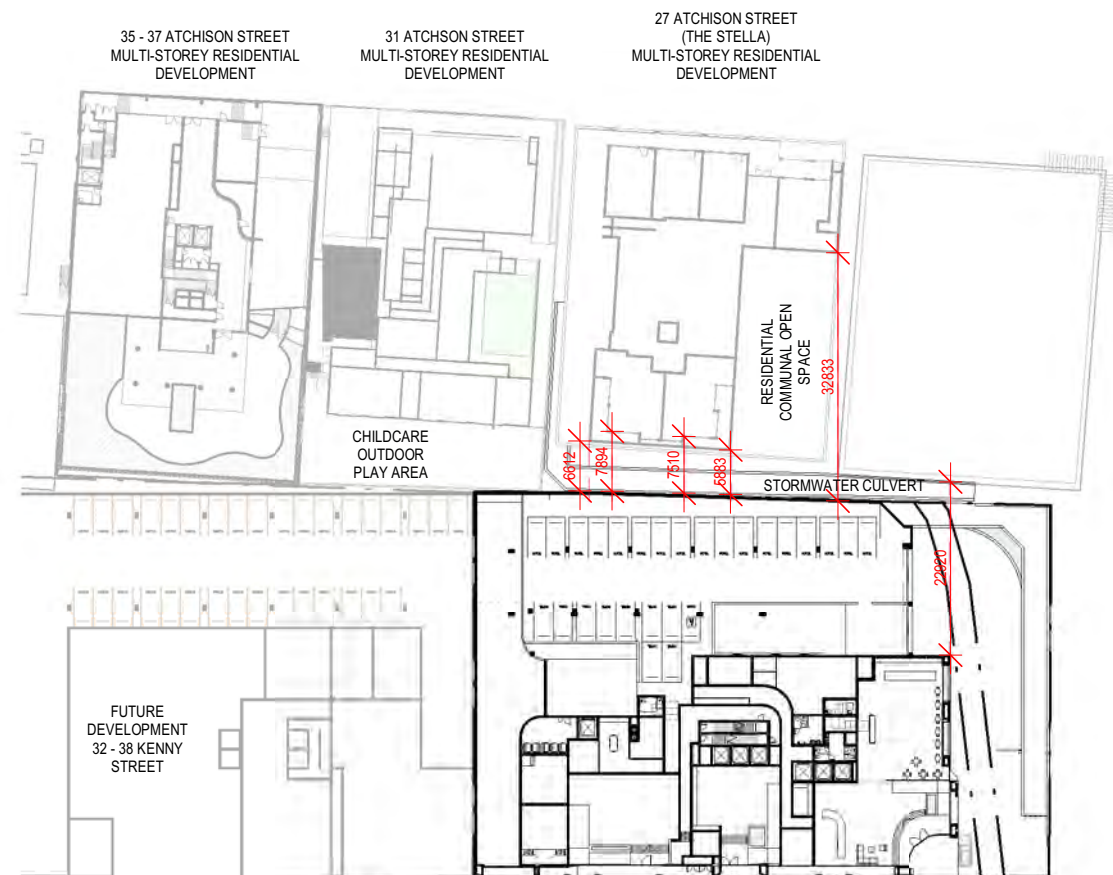
806	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	2600	2700	7.02 m³
LEVEL 8	STORE (INTERNAL)	600	1500	2700	2.43 m³
LEVEL 8	STORE (INTERNAL)	600	1600	2700	2.59 m³
					12.04 m³

807	3 BED				
BASEMENT 2	STORE (BASEMENT)	1000	2585	2600	6.72 m³
LEVEL 8	STORE (INTERNAL)	850	1250	2700	2.87 m³
LEVEL 8	STORE (INTERNAL)	800	1500	2700	3.24 m³
					12.83 m³

808	2 BED				
BASEMENT 2	STORE (BASEMENT)	1000	1100	2700	2.97 m³
LEVEL 8	STORE (INTERNAL)	1050	736	2700	2.09 m³
LEVEL 8	STORE (INTERNAL)	600	2950	2700	4.78 m³
					9.84 m³

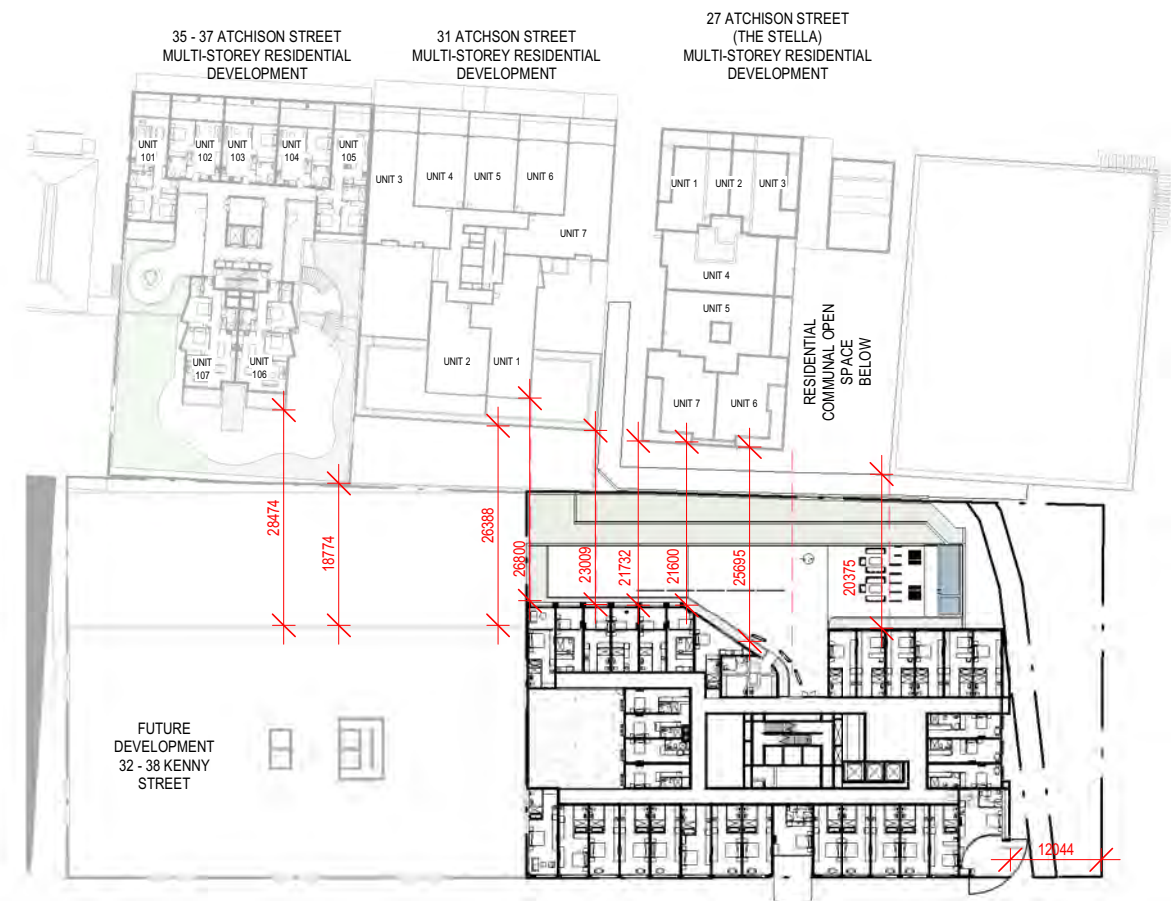
809	2 BED				
BASEMENT 2	STORE (BASEMENT)	1641	1000	2700	4.43 m³
LEVEL 8	STORE (INTERNAL)	850	1840	2700	4.22 m³
					8.65 m³





SITE CONTEXT ANALYSIS - GROUND

1 : 1000



SITE CONTEXT ANALYSIS - LEVEL 1

1 : 1000

#### DISCLAIMER

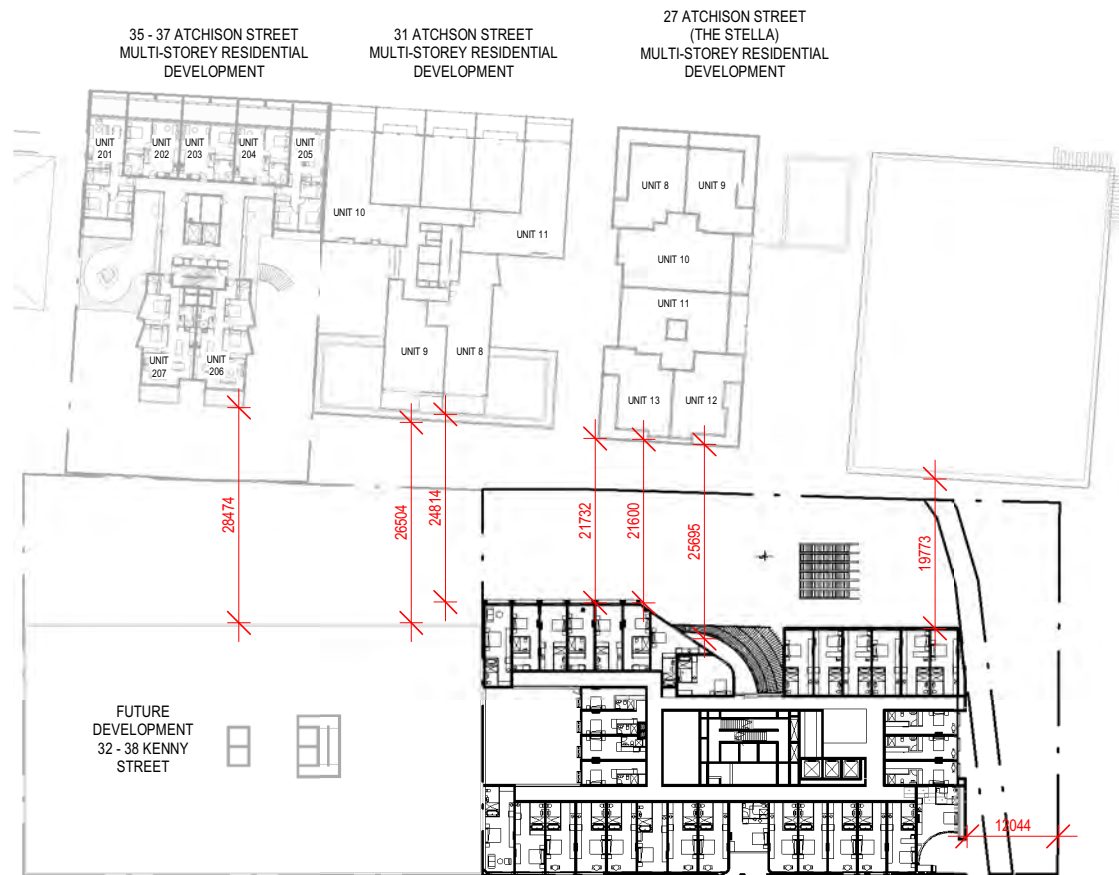
Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: SITE CONTEXT - KEY FLOOR PLANS	SCALE BAR: 0 10 20 30 40 50m		ISSUE DATE: 12.06.2024 DRAWN: LF SCALE: 1:1000 QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>030 AA</b>
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**DISCLAIMER**  
All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work.  
Copyright of DWA.

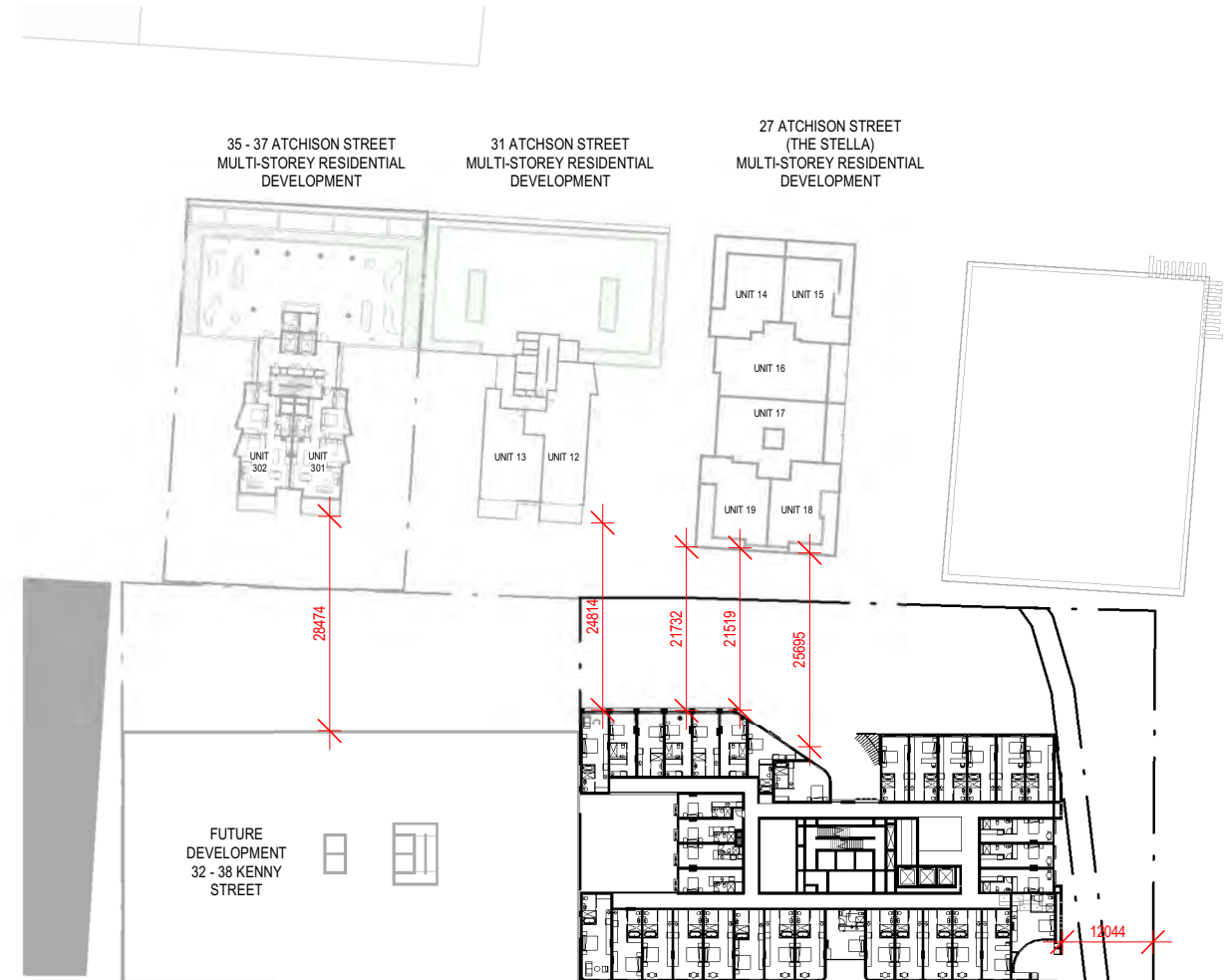
## ADDITIONAL INFORMATION





SITE CONTEXT ANALYSIS - LEVEL 2

1 : 1000



SITE CONTEXT ANALYSIS - LEVEL 3

1 : 1000

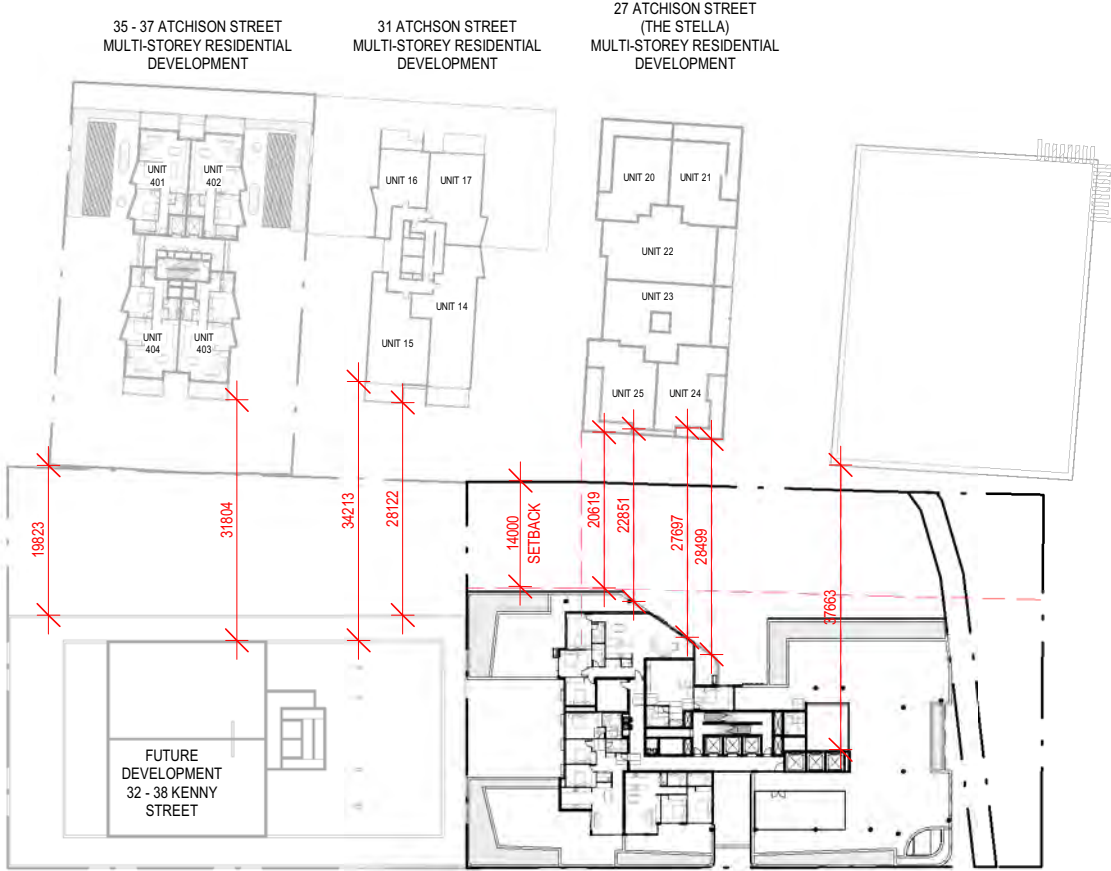
#### DISCLAIMER

Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

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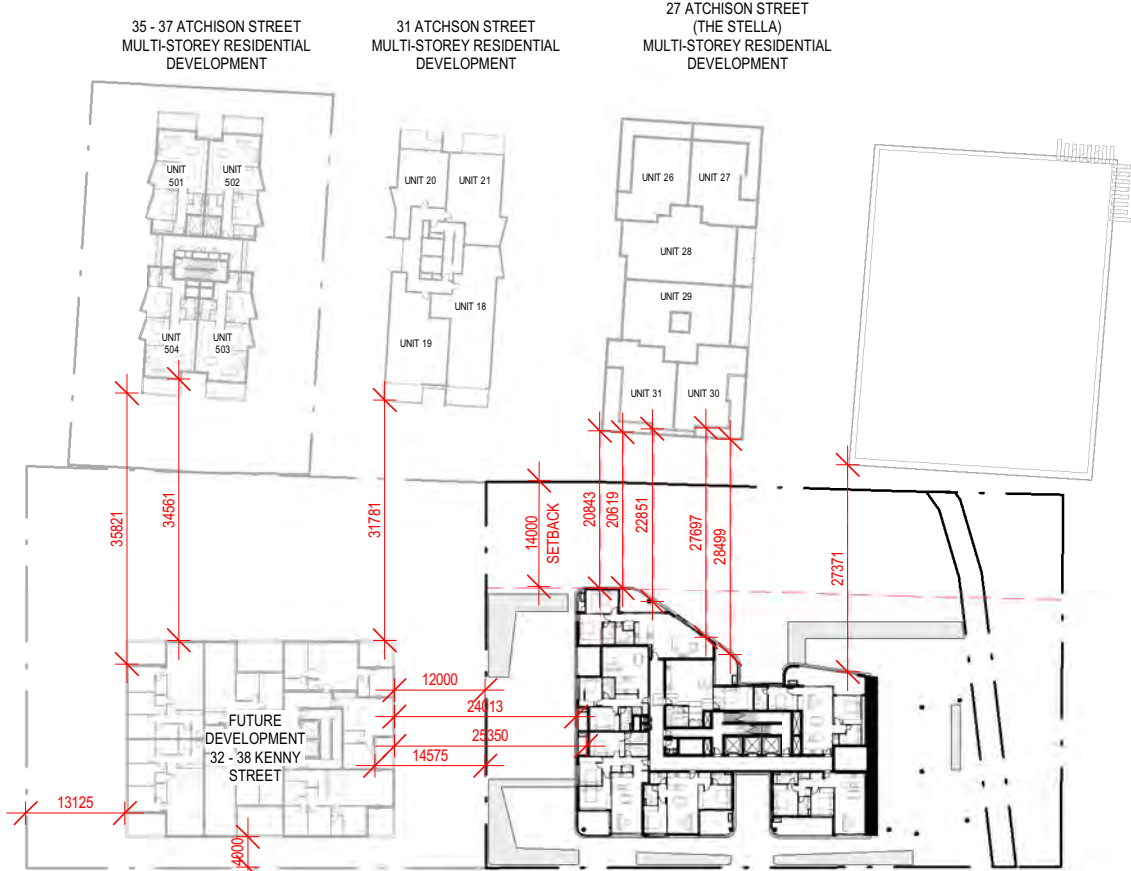
## ADDITIONAL INFORMATION





SITE CONTEXT ANALYSIS - LEVEL 4

1 : 1000



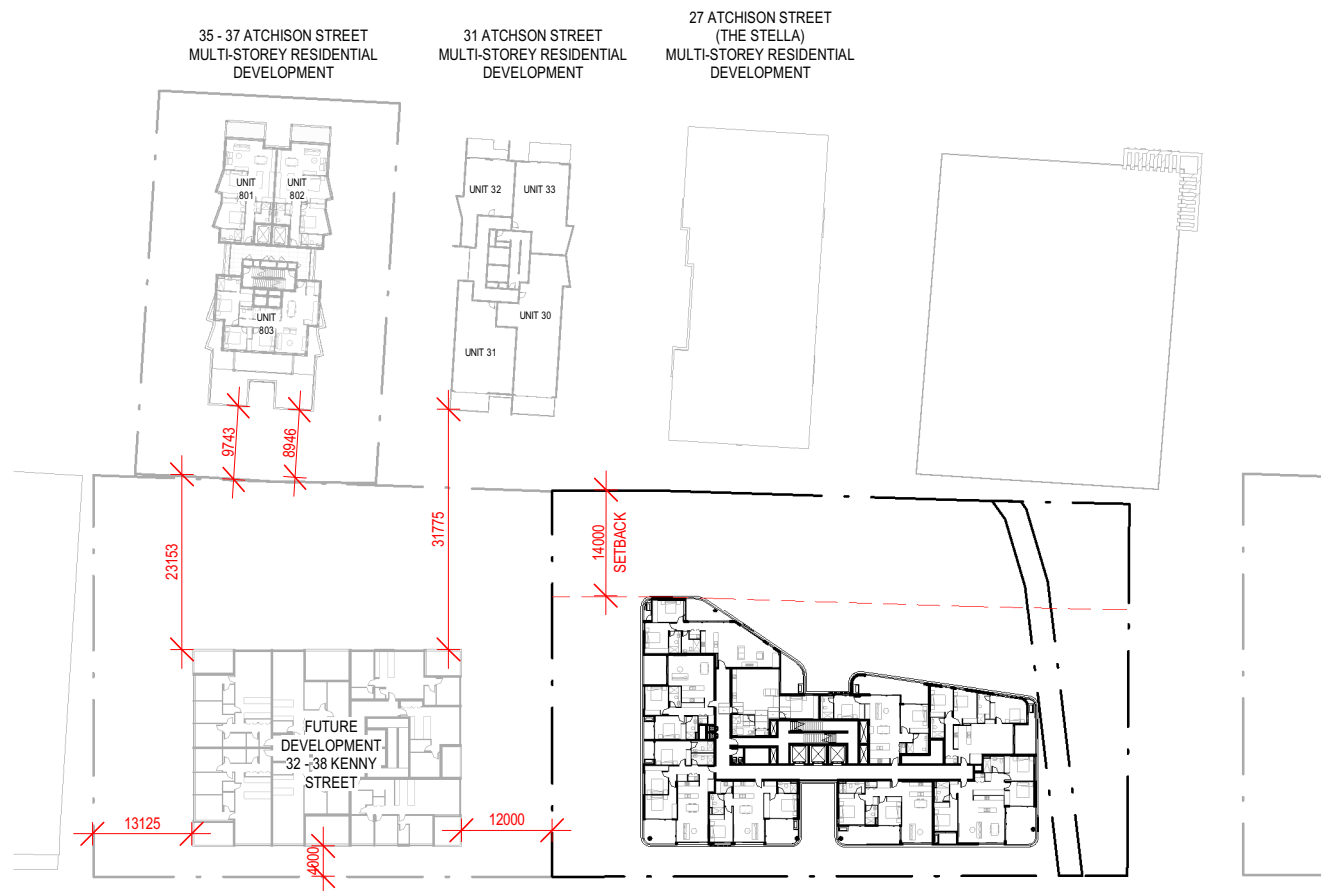
SITE CONTEXT ANALYSIS - LEVEL 5

1 : 1000

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SITE CONTEXT ANALYSIS - LEVEL 8

1 : 1000

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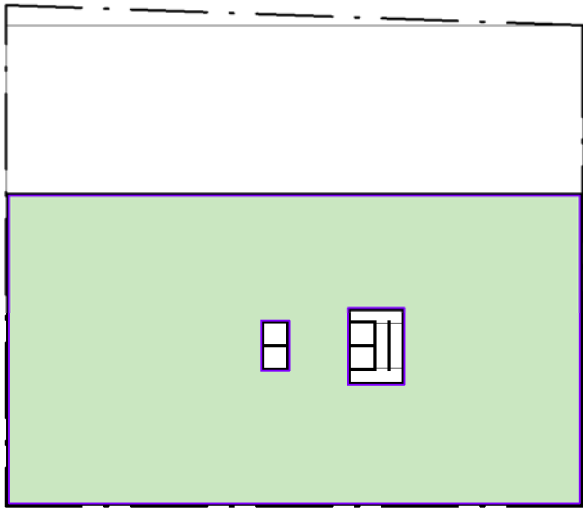
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT	ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW	DRAWING NAME: SITE CONTEXT - KEY FLOOR PLANS			ISSUE DATE: 12.06.2024 DRAWN: LF SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>033 AA</b>
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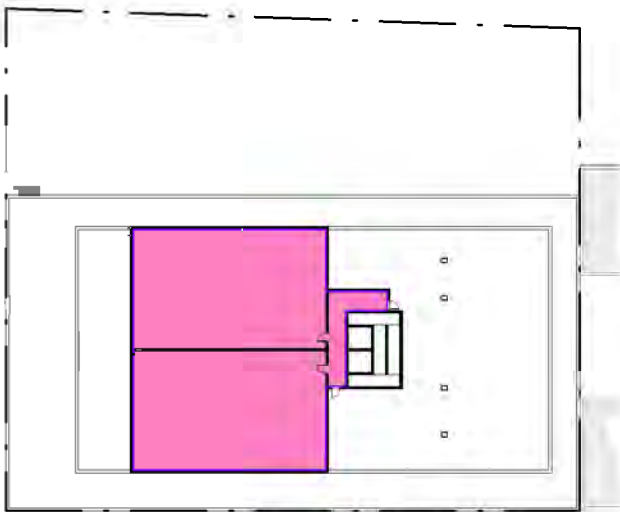
GFA - GROUND FLOOR

1 : 800



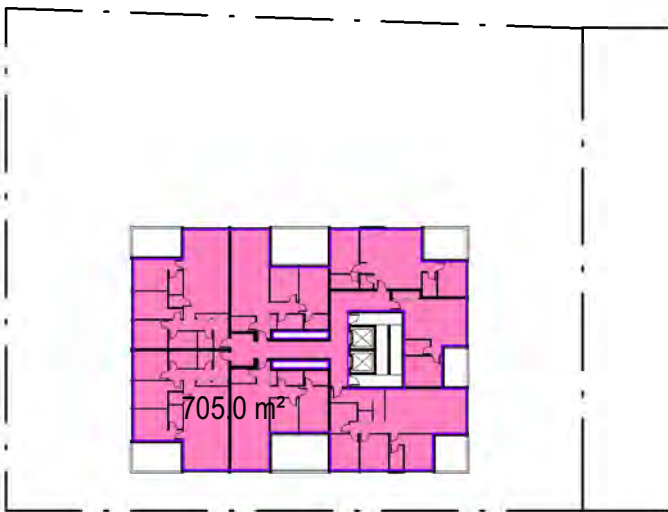
GFA - LEVEL 1-3 (TYPICAL)

1 : 800



GFA - LEVEL 4

1 : 800



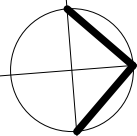
LEVEL 5 - 17 (TYPICAL)

1 : 800

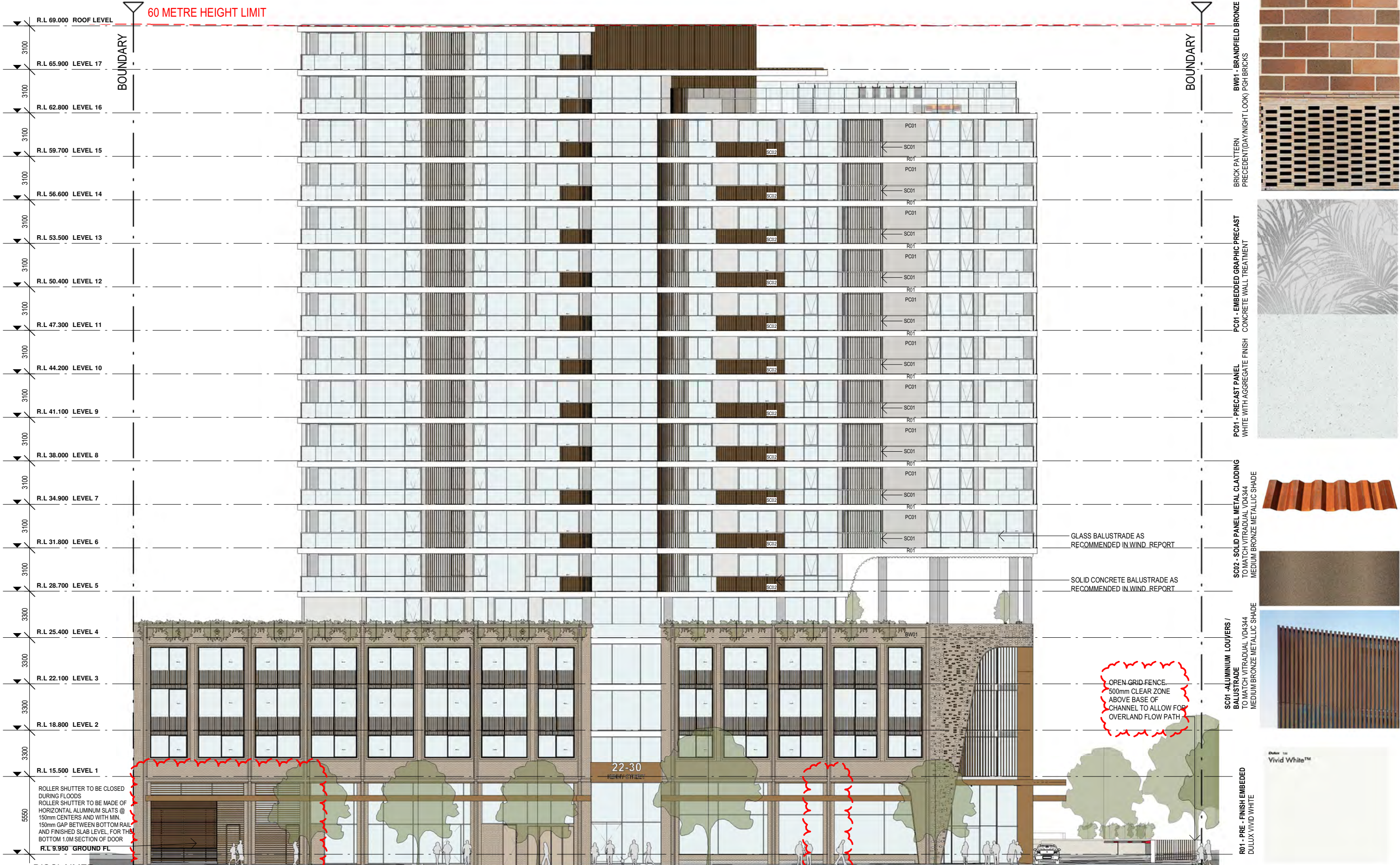
32-38 KENNY STREET - FUTURE GFA		
LEVEL	AREA	FSR
COMMERCIAL		
GROUND FLOOR	1278.46 m <sup>2</sup>	0.40
LEVEL 1	1902.84 m <sup>2</sup>	0.60
LEVEL 2	1902.86 m <sup>2</sup>	0.60
LEVEL 3	1902.87 m <sup>2</sup>	0.60
	6987.02 m <sup>2</sup>	2.21
RESIDENTIAL		
GROUND FLOOR	222.20 m <sup>2</sup>	0.07
LEVEL 4	549.88 m <sup>2</sup>	0.17
LEVEL 5	705.04 m <sup>2</sup>	0.22
LEVEL 6	705.04 m <sup>2</sup>	0.22
LEVEL 7	705.04 m <sup>2</sup>	0.22
LEVEL 8	705.04 m <sup>2</sup>	0.22
LEVEL 9	705.04 m <sup>2</sup>	0.22
LEVEL 10	705.04 m <sup>2</sup>	0.22
LEVEL 11	705.04 m <sup>2</sup>	0.22
LEVEL 12	705.04 m <sup>2</sup>	0.22
LEVEL 13	705.04 m <sup>2</sup>	0.22
LEVEL 14	705.04 m <sup>2</sup>	0.22
LEVEL 15	705.04 m <sup>2</sup>	0.22
LEVEL 16	705.04 m <sup>2</sup>	0.22
LEVEL 17	705.04 m <sup>2</sup>	0.22
	9937.54 m <sup>2</sup>	3.14
Grand total	16924.57 m <sup>2</sup>	5.35

Wollongong City Council FSR Calculator			
City Centre - Mixed Use (Various Zones)			
Note:			
Change the numbers in the <input type="text" value="3000"/> only			
B3 - Site Area - Equal or greater than 2000sqm / Street Frontage greater			
Site Area	3165		
	Area	%	Total Area
Non Res (NRFSR)	6987	41.28	16924
Res (RFSR)	9937	58.72	
	RFSR =	3.5	
	NRFSR =	6	
(NRFSR x NR / 100)	+	(RFSR x R / 100)	:1
2.477	+	2.055	:1
Allowable FSR	4.53	:1	
Allowable GFA	14344.1		
Proposed FSR	5.35	:1	
Area Difference	-2579.9		

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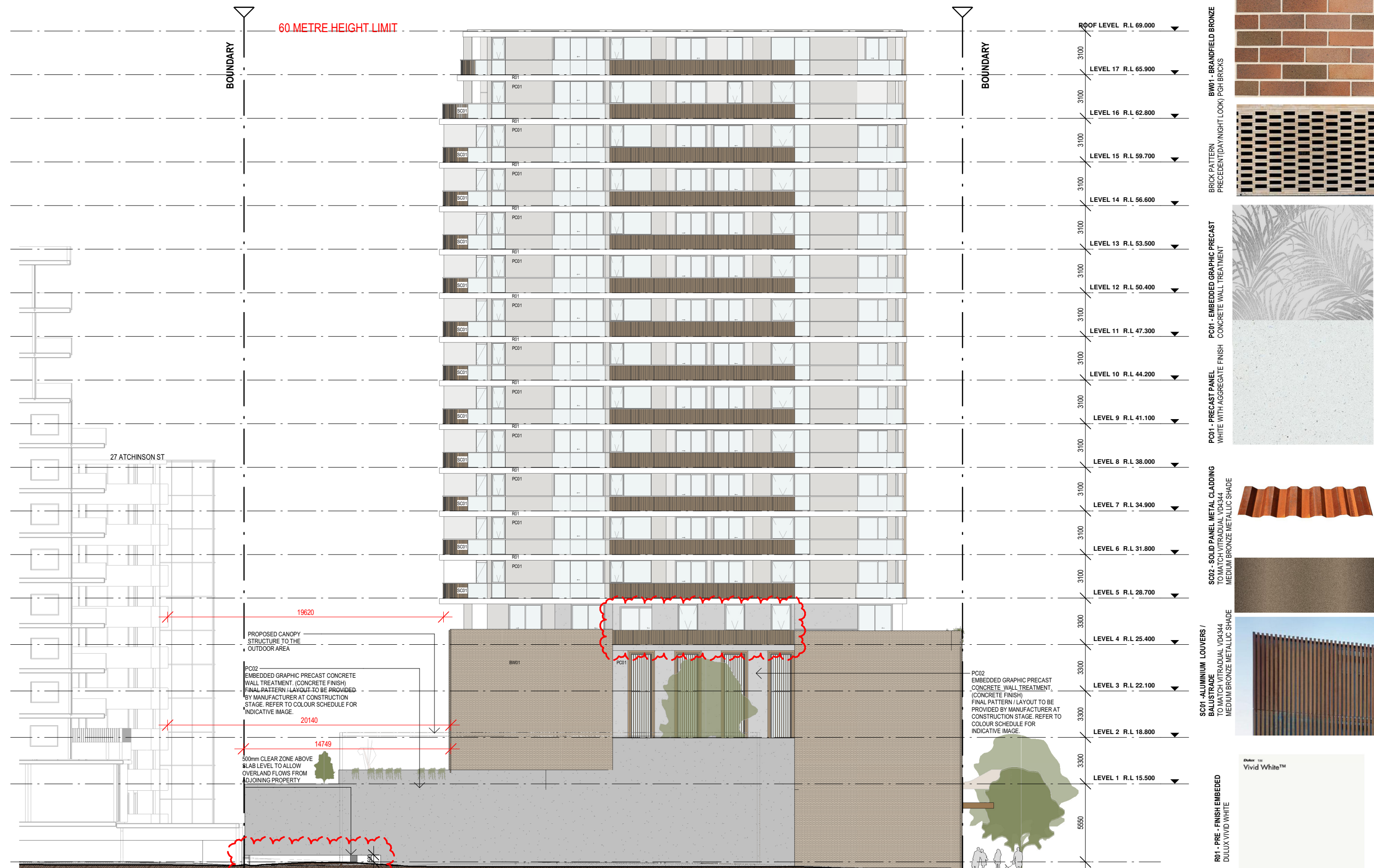


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**ADDITIONAL INFORMATION**

REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: ELEVATION - EAST	SCALE BAR: 0 2.5 5 7.5 10 12.5m	ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:250 QA: RG	PROJECT No. <b>2563</b> DWG No. <b>040</b> Rev. <b>AA</b>
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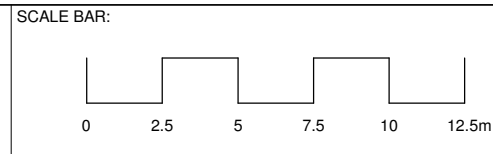
REF.	DATE	AMENDMENT
CC	11.07.2024	ADDITIONAL INFORMATION
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.		



**Wollongong**  
81a Princes Highway,  
Fairy Meadow NSW 2519  
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Web: www.designworkshop.com.au

**Sydney**  
Level 10, 6 Mount  
Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

**CLIENT:** BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
**ADDRESS:** 22-30 KENNY STREET,  
WOLLONGONG, NSW  
**DRAWING NAME:** ELEVATION - SOUTH



<b>ISSUE DATE:</b> 11.07.2024	<b>PROJECT No.</b> 2563
<b>DRAWN:</b> NT/DM/ML	<b>DWG No.</b> Rev.
<b>SCALE:</b> 1:250	041 CC
<b>QA:</b> RG	

## ADDITIONAL INFORMATION

**BW01 - BRANDFIELD BRONZE**  
**PC01 - PRECAST PANEL**  
**SC01 - ALUMINIUM LOUVERS / BALUSTRADE**  
**PC02 - EMBEDDED GRAPHIC PRECAST**  
**R01 - PRE - FINISH EMBEDDED**







**BW01 - BRANDFIELD BRONZE**  
BRICK PATTERN PRECEDENT(DAY/NIGHT LOOK) PGH BRICKS

**PC01 - EMBEDDED GRAPHIC PRECAST**  
CONCRETE WALL TREATMENT

**PC01 - PRECAST PANEL**  
WHITE WITH AGGREGATE FINISH

**SC02 - SOLID PANEL METAL CLADDING**  
TO MATCH VITRADUAL VD4344 MEDIUM BRONZE METALLIC SHADE

**SC01 - ALUMINIUM LOUVERS / BALUSTRADE**  
TO MATCH VITRADUAL VD4344 MEDIUM BRONZE METALLIC SHADE

**R01 - PRE - FINISH EMBEDDED**  
DULUX VIVID WHITE

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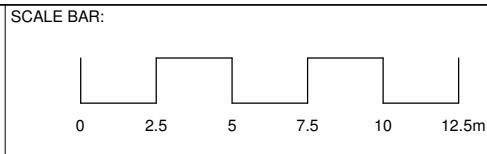
REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.		



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Email: info@designworkshop.com.au  
Web: www.designworkshop.com.au

**Sydney**  
Level 10, 6 Mount  
Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: ELEVATION - NORTH



ISSUE DATE: 12.06.2024  
DRAWN: NT/DM/ML  
SCALE: 1:250  
QA: RG

PROJECT No. 2563  
DWG No. 043  
Rev. AA

## ADDITIONAL INFORMATION

**BW01 - BRANDFIELD BRONZE**  
BRICK PATTERN  
PRECEDENT(DAY/NIGHT LOOK) PGB BRICKS

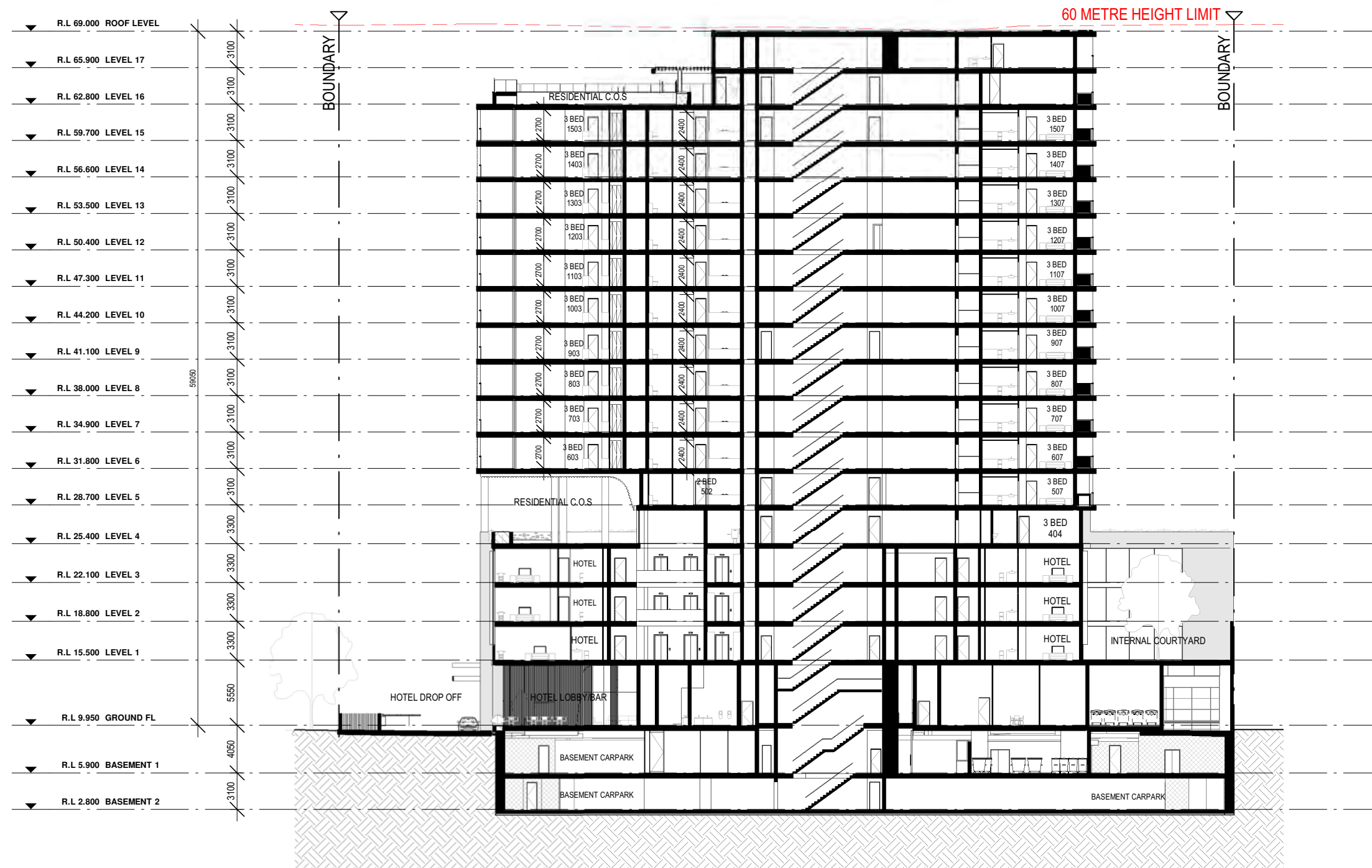
**PC01 - EMBEDDED GRAPHIC PRECAST**  
CONCRETE WALL TREATMENT  
WHITE WITH AGGREGATE FINISH

**SC02 - SOLID PANEL METAL CLADDING**  
TO MATCH VITRADUAL VD4344  
MEDIUM BRONZE METALLIC SHADE

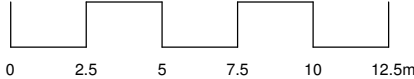
**SC01 - ALUMINIUM LOUVERS / BALUSTRADE**  
TO MATCH VITRADUAL VD4344  
MEDIUM BRONZE METALLIC SHADE

**R01 - PRE - FINISH EMBEDDED**  
DULUX VIVID WHITE

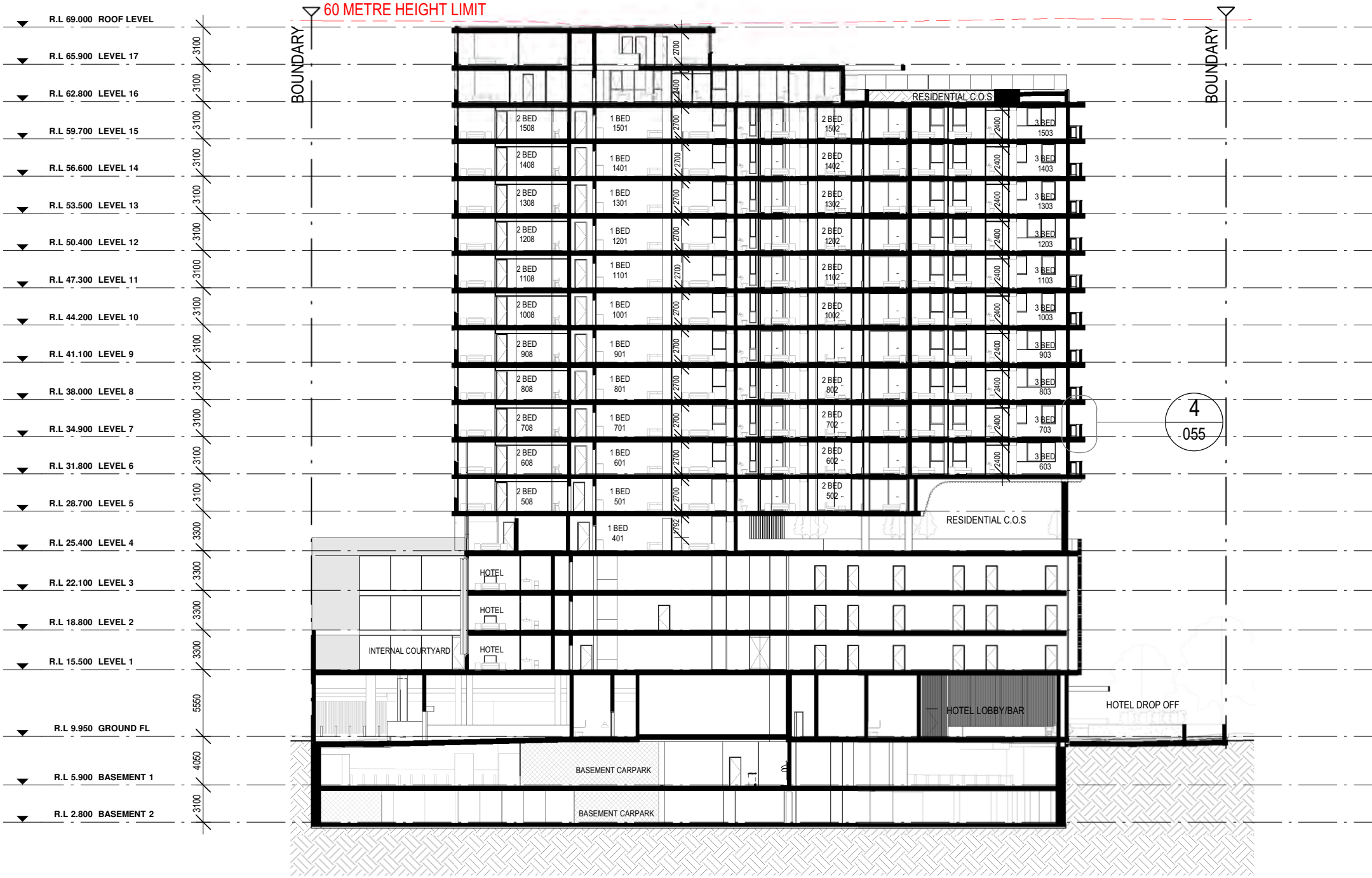




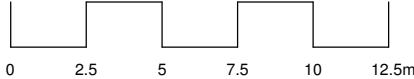
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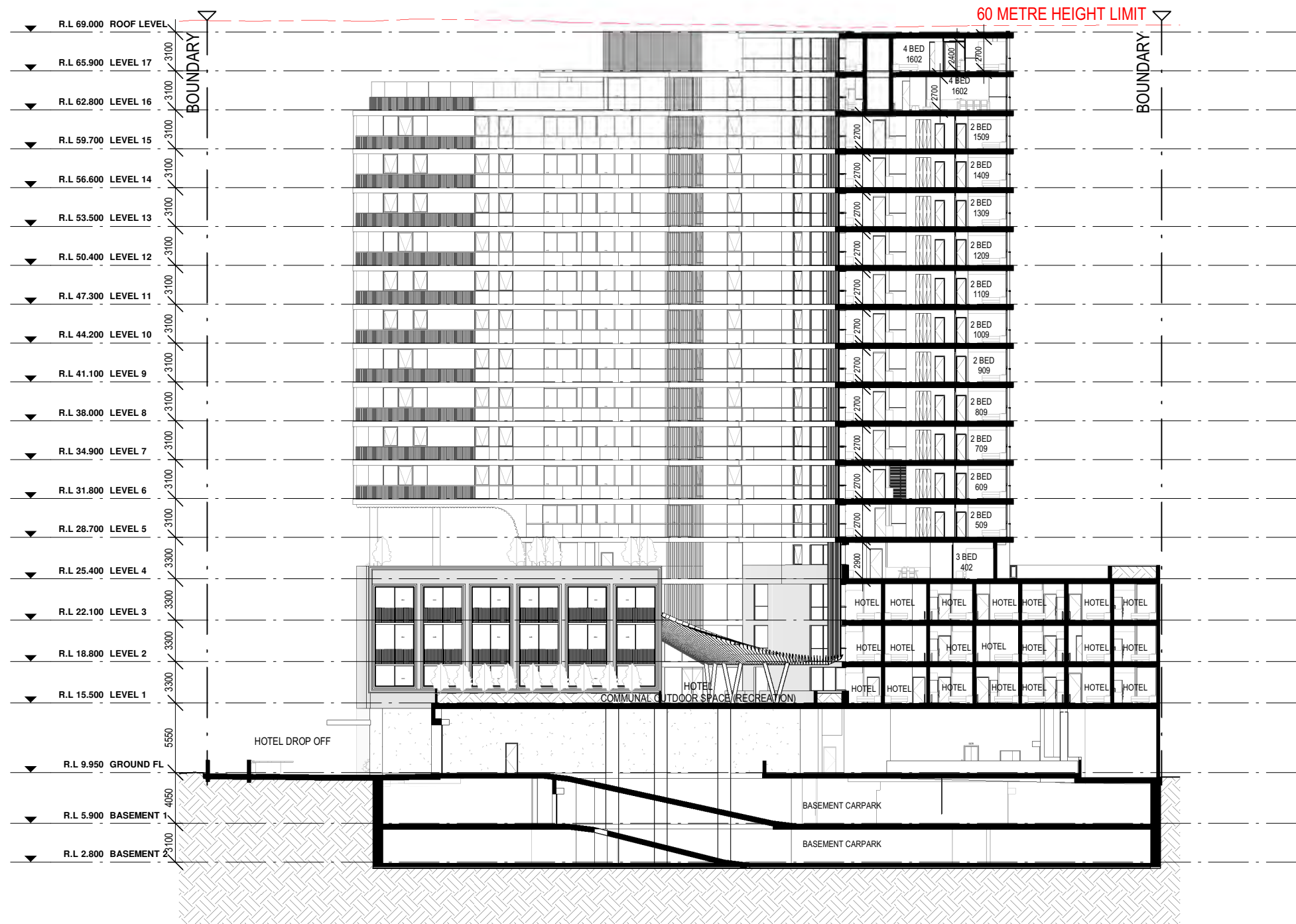




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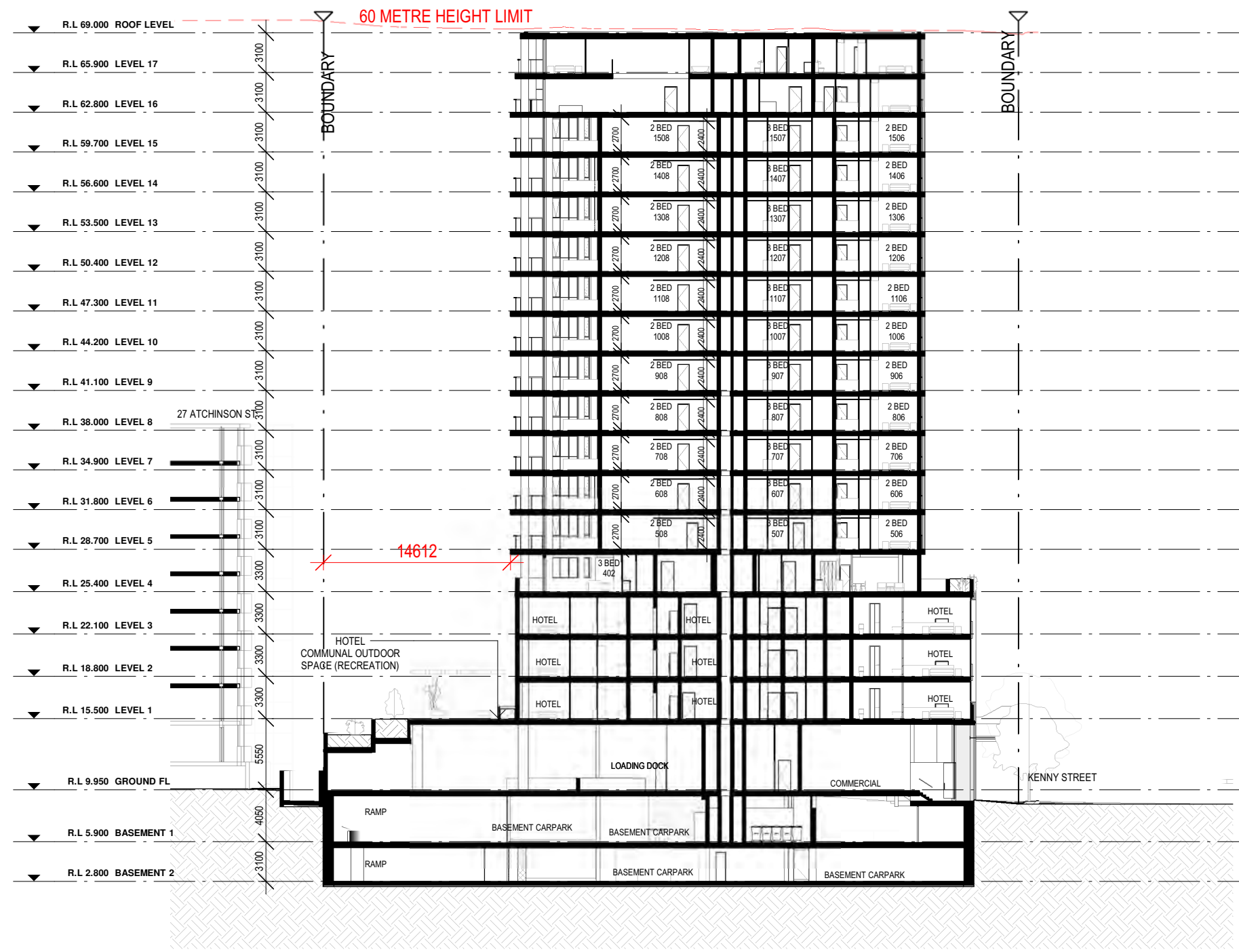




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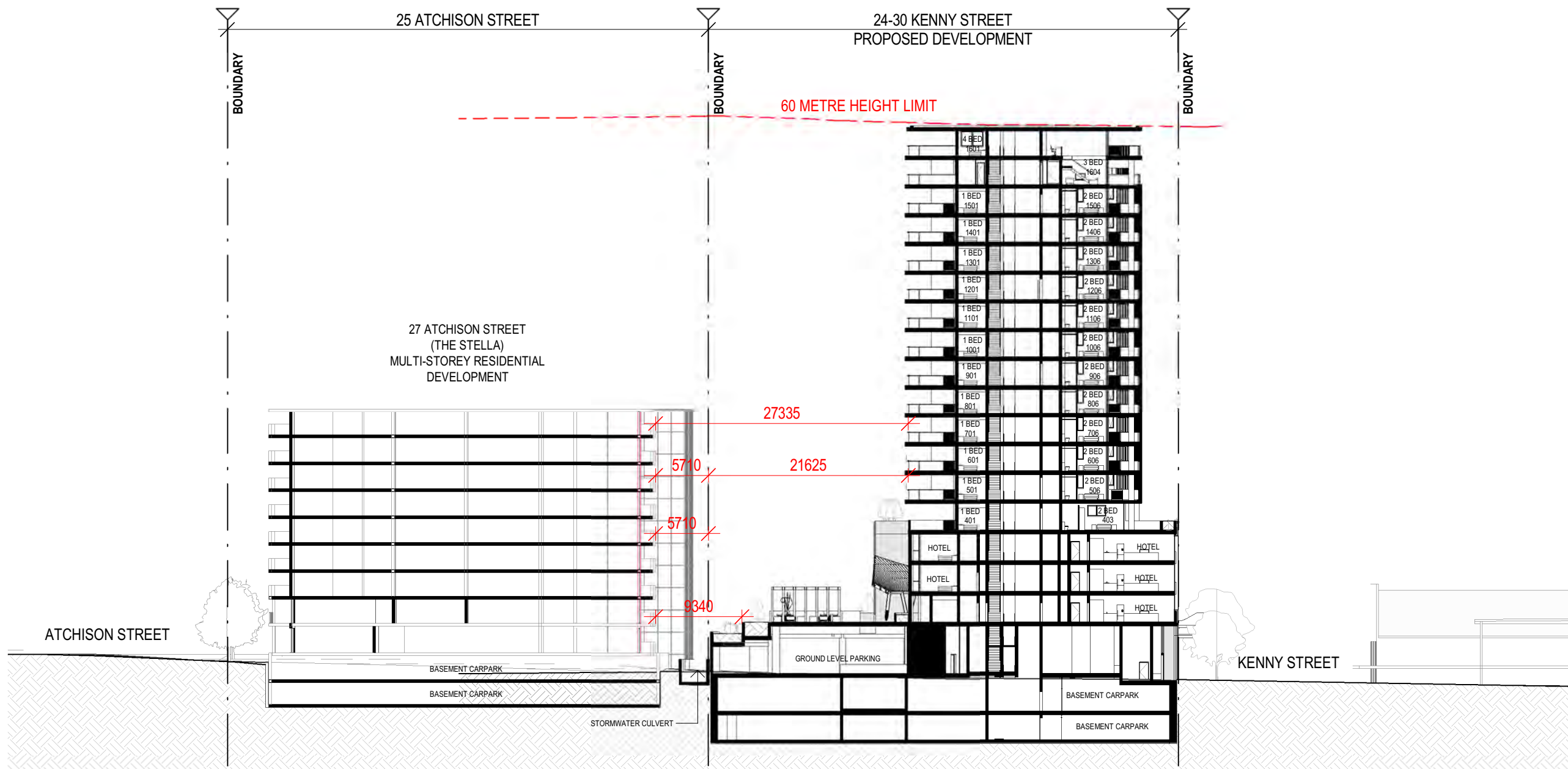


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ADDITIONAL INFORMATION

REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: SECTION D	SCALE BAR: 0 2.5 5 7.5 10 12.5m	ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:250 QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>053 AA</b>
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SITE SECTION E-E

1 : 500

#### DISCLAIMER

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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

**DISCLAIMER**  
All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work.  
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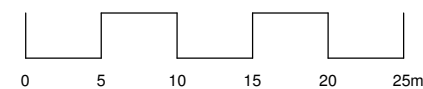


**Wollongong**  
81a Princes Highway,  
Fairy Meadow NSW 2519  
Tel: (02) 4227 1661  
Email: info@designworkshop.com.au  
Web: www.designworkshop.com.au

**Sydney**  
Level 10, 6 Mount  
Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: SITE SECTION E

SCALE BAR:

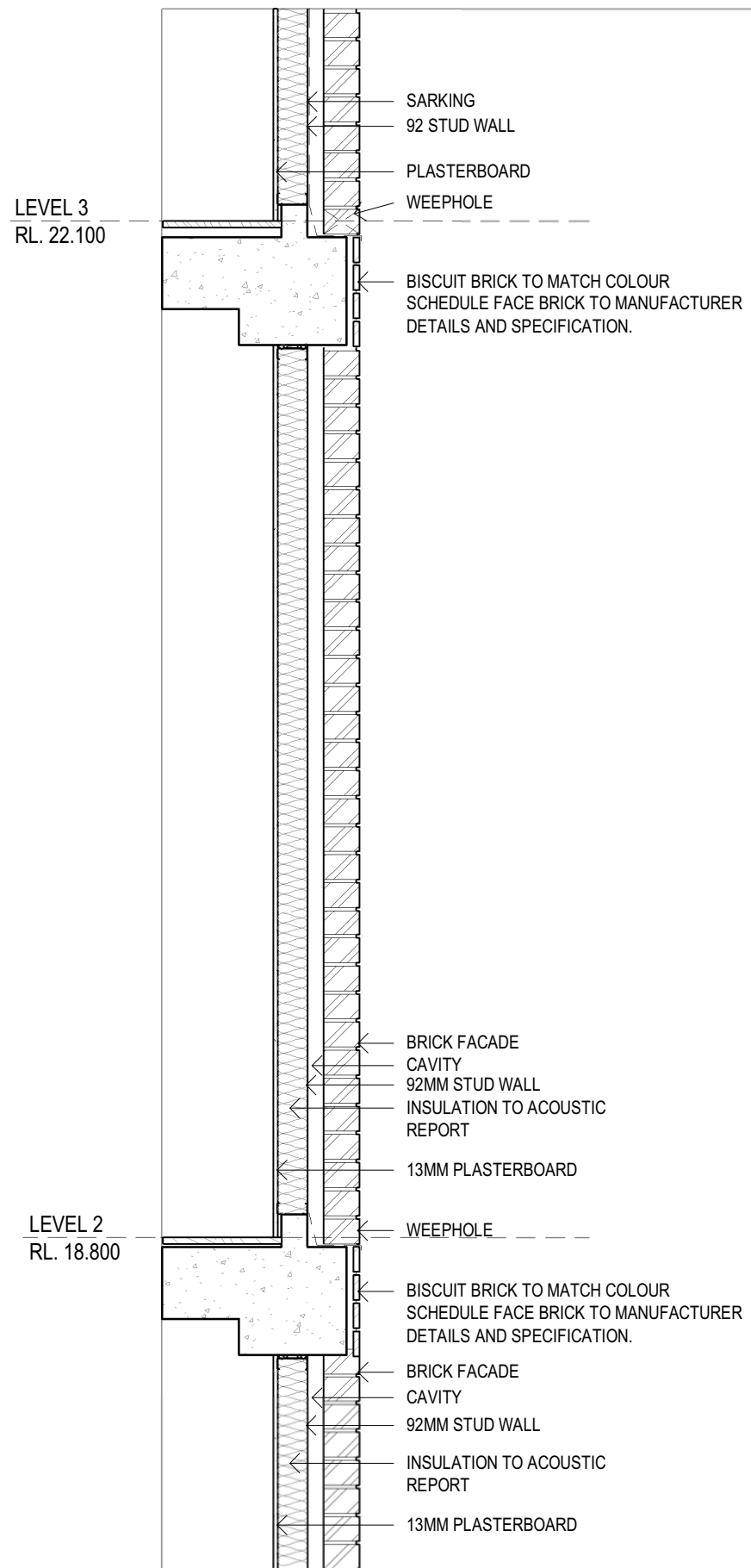


ISSUE DATE: 12.06.2024  
DRAWN: NT/DM/ML  
SCALE: 1:500  
QA: RG

PROJECT No.  
**2563**  
DWG No. Rev.  
**054 AA**

## ADDITIONAL INFORMATION



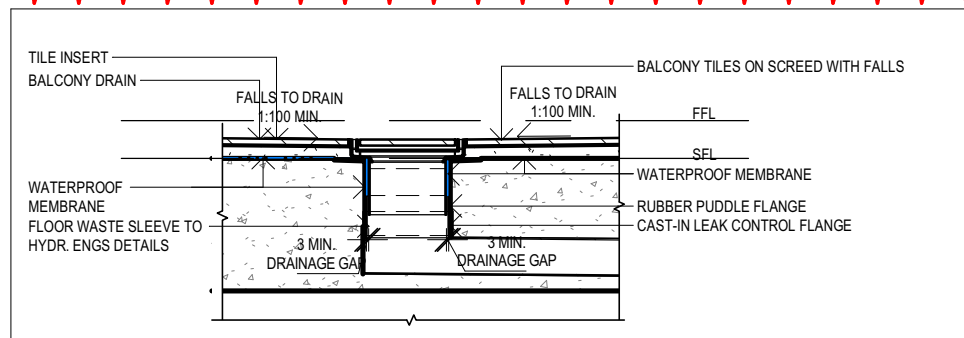
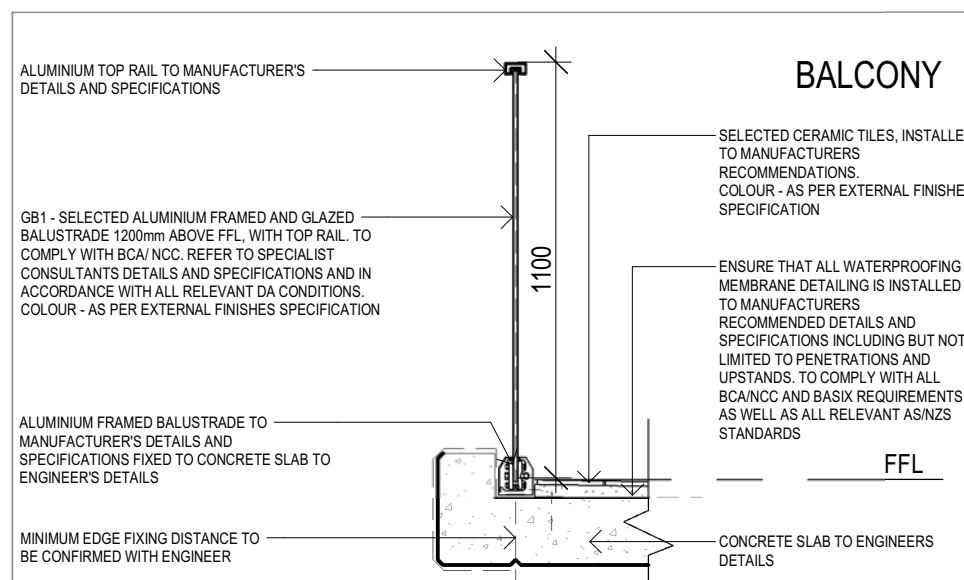


DETAIL SECTION - 01

DISCLAIMER

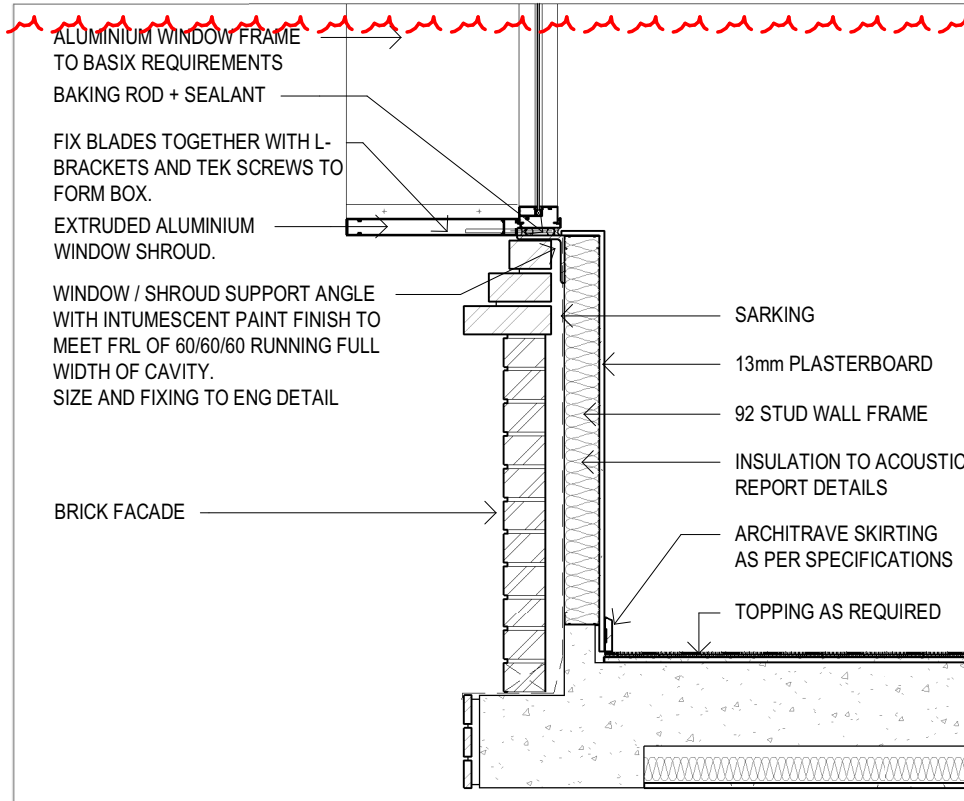
1 : 20

Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)



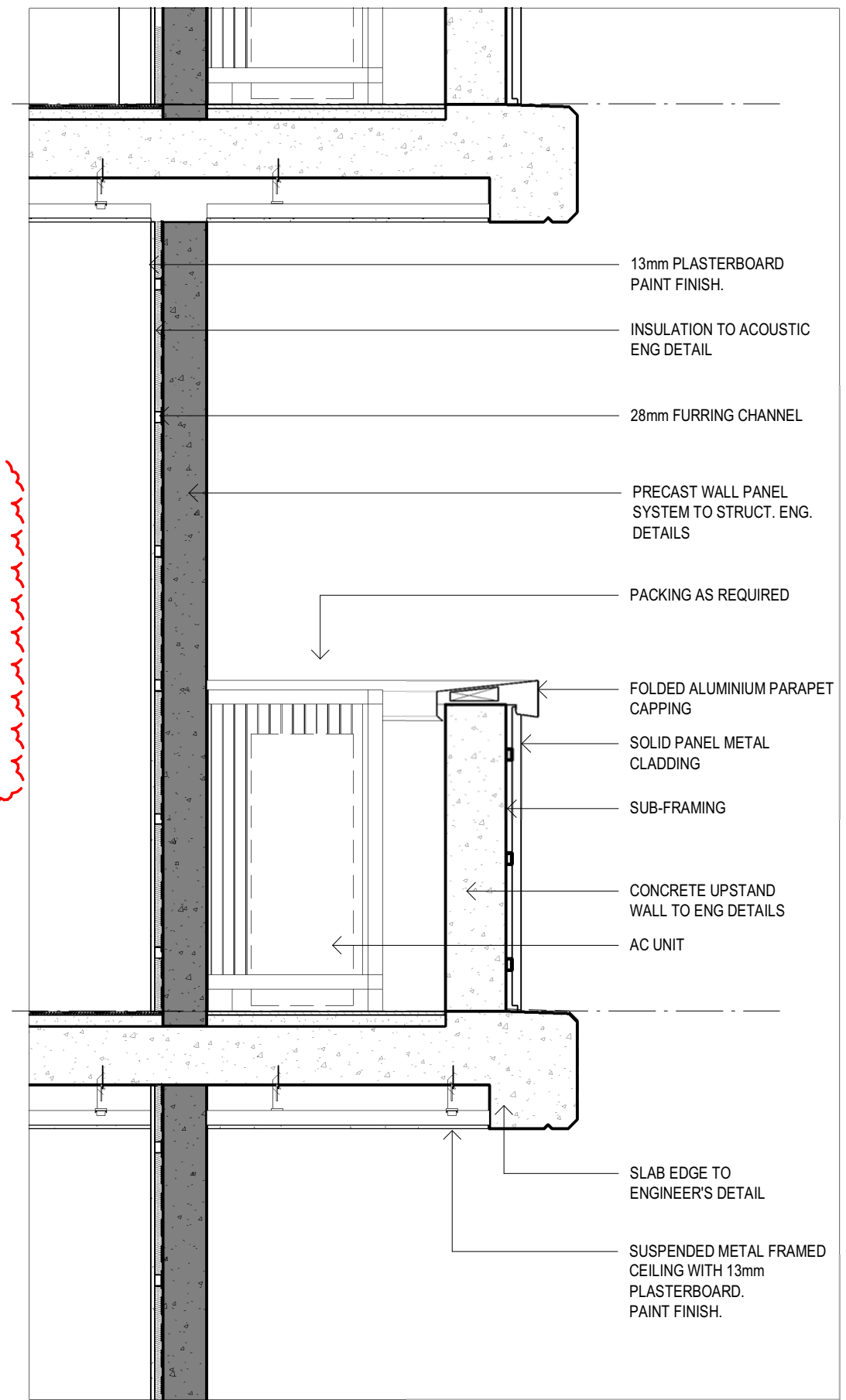
SECTION - BALCONY DRAIN

1 : 10



DETAIL SECTION - 03

1 : 20



DETAIL SECTION - 04

1 : 20

## ADDITIONAL INFORMATION

REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

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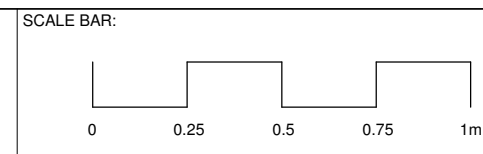
**Wollongong**  
81a Princes Highway,  
Fairy Meadow NSW 2519  
Tel: (02) 4227 1661  
Email: info@designworkshop.com.au  
Web: www.designworkshop.com.au

**Sydney**  
Level 10, 6 Mount  
Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT

ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW

DRAWING NAME: DETAIL SECTIONS



ISSUE DATE: 12.06.2024	PROJECT No. <b>2563</b>
DRAWN: NT / DM	DWG No. Rev.
SCALE: 1:20	<b>055</b> <b>AA</b>
QA: RG	





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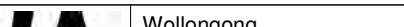
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT	ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW	DRAWING NAME: 3D PERSPECTIVE (FRONT)	ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>061 AA</b>
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ADDITIONAL INFORMATION





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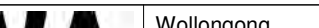
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	 <b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT				ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>062 AA</b>
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.							DRAWING NAME: 3D PERSPECTIVE (REAR)				

ADDITIONAL INFORMATION





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REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	 DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT			ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>063 AA</b>		
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.						ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW						
DRAWING NAME: 3D PERSPECTIVES												

## ADDITIONAL INFORMATION





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ADDITIONAL INFORMATION

REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT	ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW	DRAWING NAME: 3D PERSPECTIVES	ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>064 AA</b>
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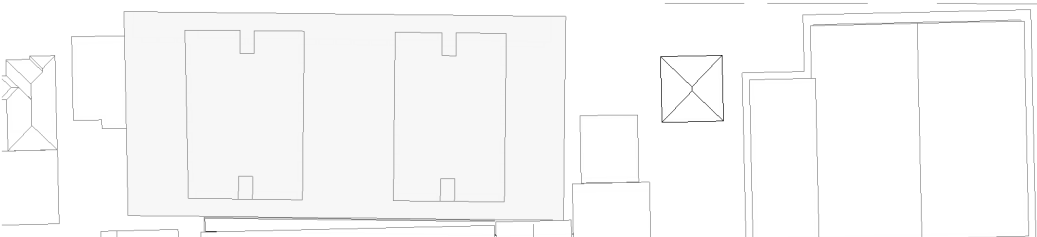


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REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	 <b>DESIGN WORKSHOP AUSTRALIA</b>	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT	ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW	DRAWING NAME: 3D PERSPECTIVE (HEIGHT PLANE)	ISSUE DATE: 12.06.2024 DRAWN: NT / DM SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>065 AA</b>
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.										

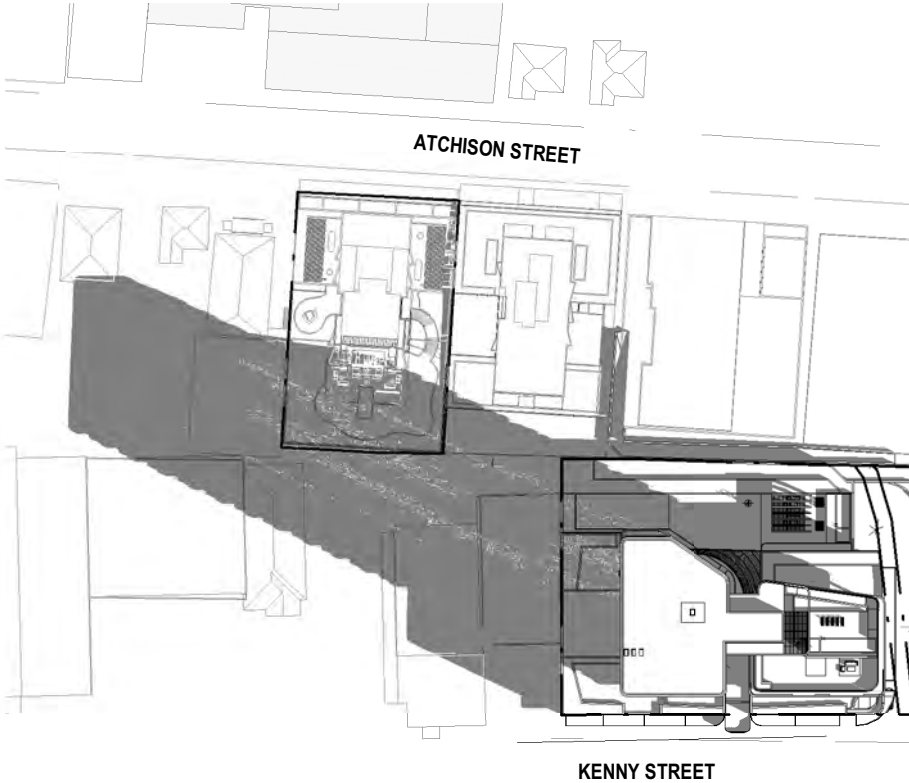
ADDITIONAL INFORMATION





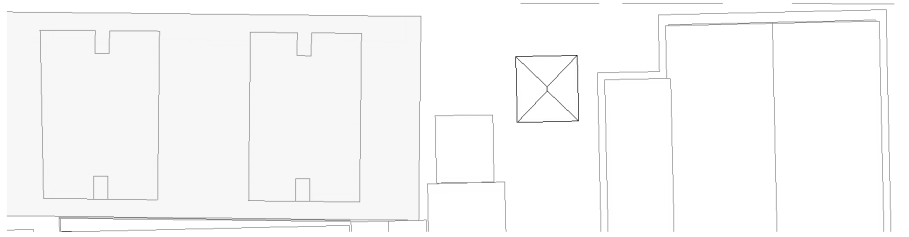
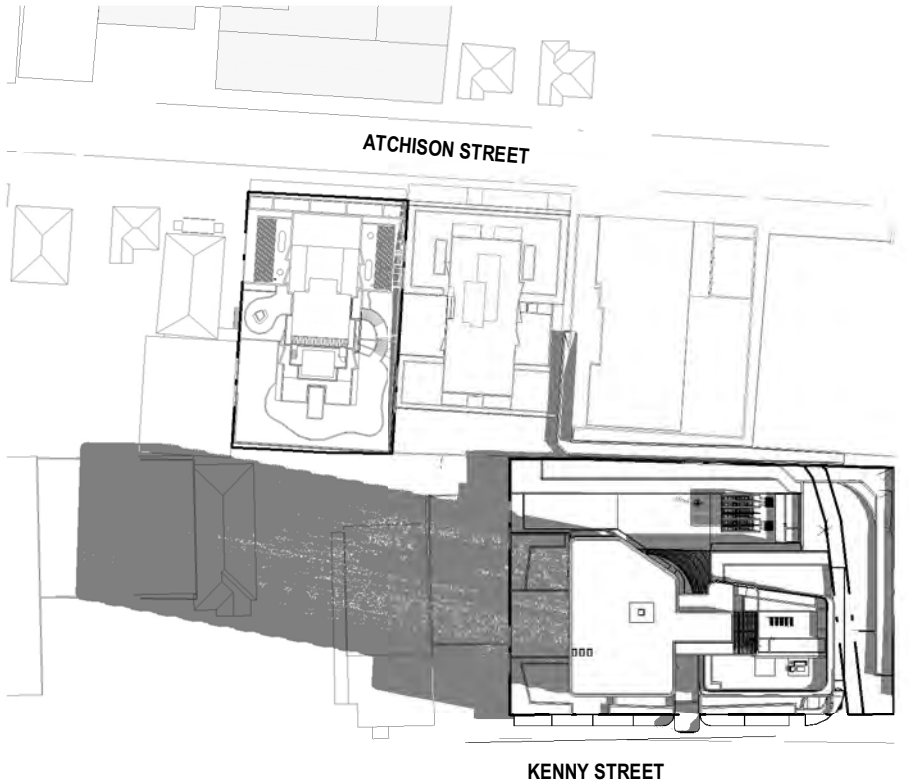
SHADOW PLAN - WINTER - 9.00am

1 : 1500



SHADOW PLAN - WINTER - 10.00am


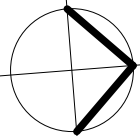
1 : 1500



SHADOW PLAN - WINTER - 11.00am

1 : 1500

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REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	 DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: SHADOWS - WINTER		ISSUE DATE: 12.06.2024 DRAWN: NT / DM SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>070 AA</b>
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ADDITIONAL INFORMATION





KENNY STREET

SHADOW PLAN - WINTER - 12.00noon

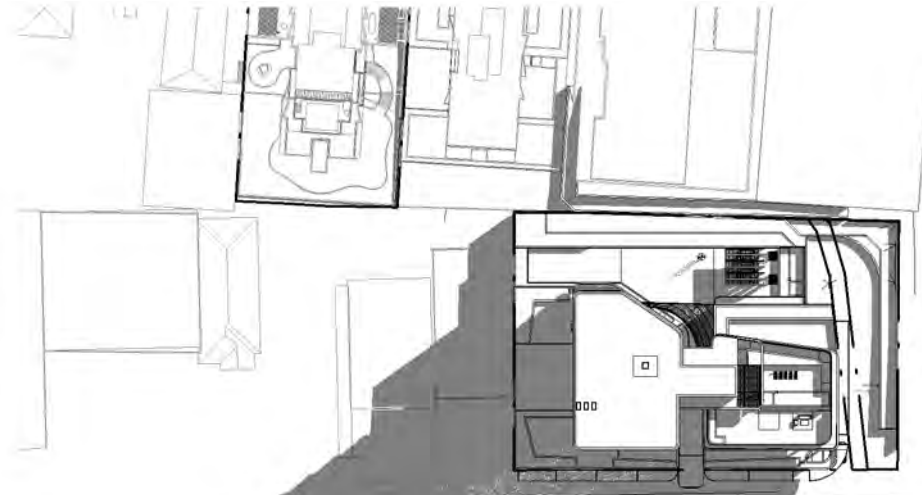
1 : 1500



KENNY STREET

SHADOW PLAN - WINTER - 1.00pm

1 : 1500

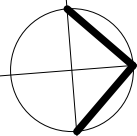


KENNY STREET

SHADOW PLAN - WINTER - 2.00pm

1 : 1500

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REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW DRAWING NAME: SHADOWS - WINTER			ISSUE DATE: 12.06.2024 DRAWN: NT / DM SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>071 AA</b>
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ADDITIONAL INFORMATION

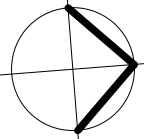




SHADOW PLAN - WINTER - 3.00pm

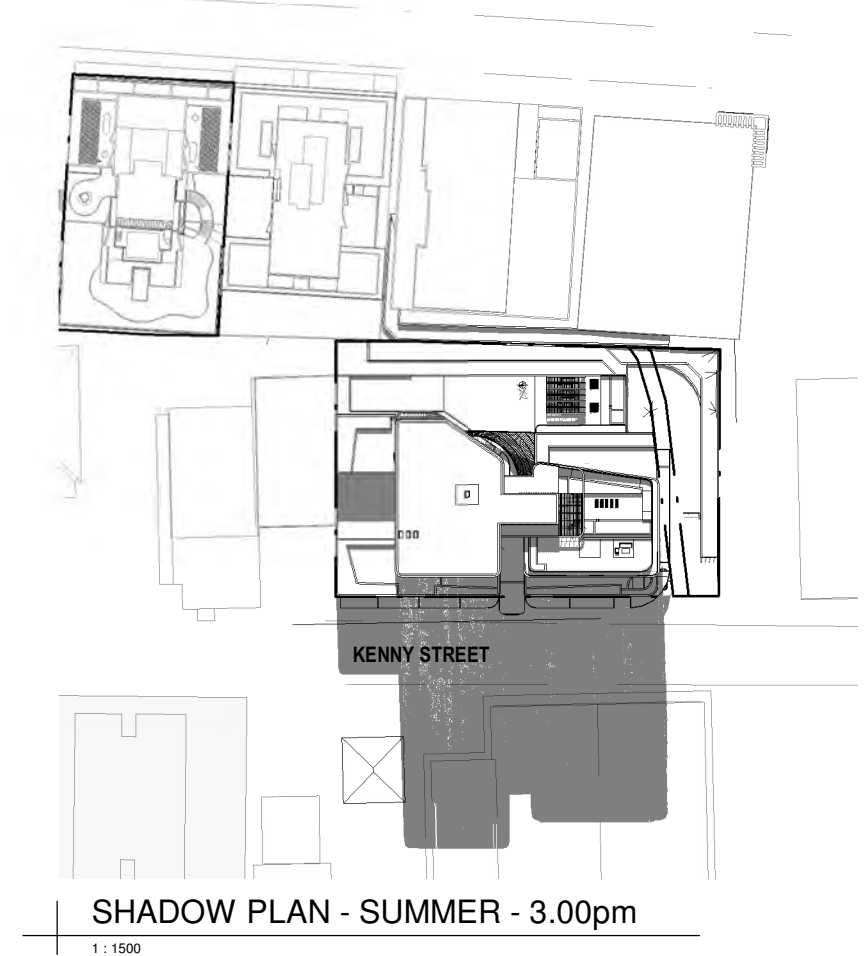
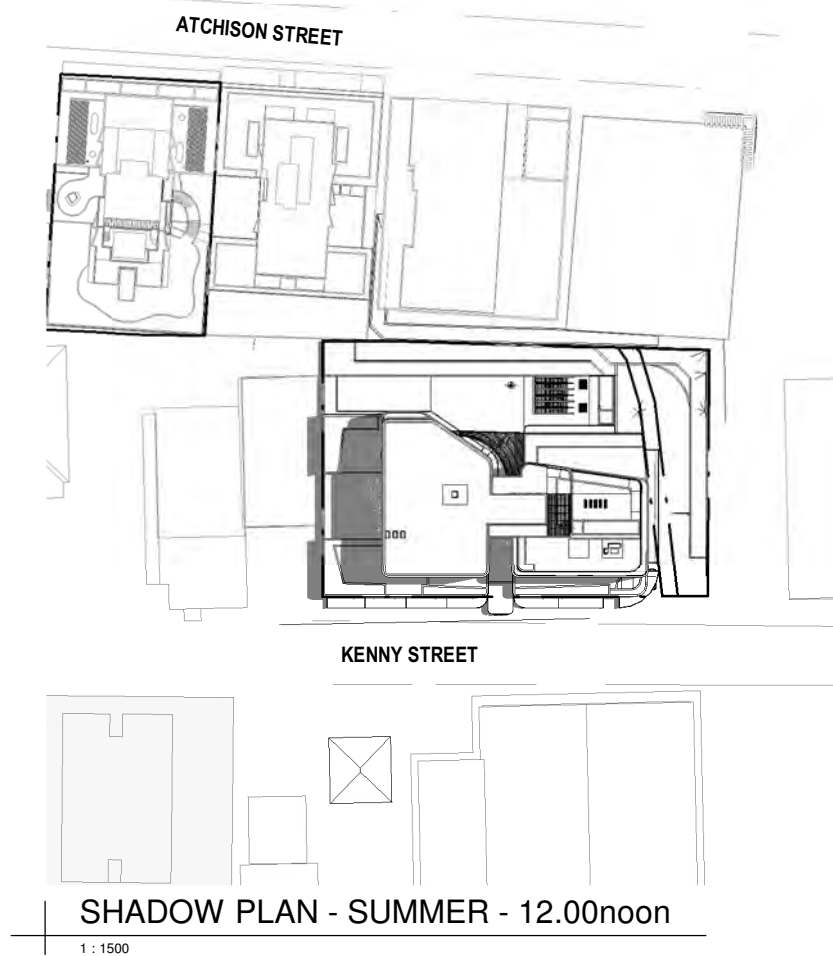
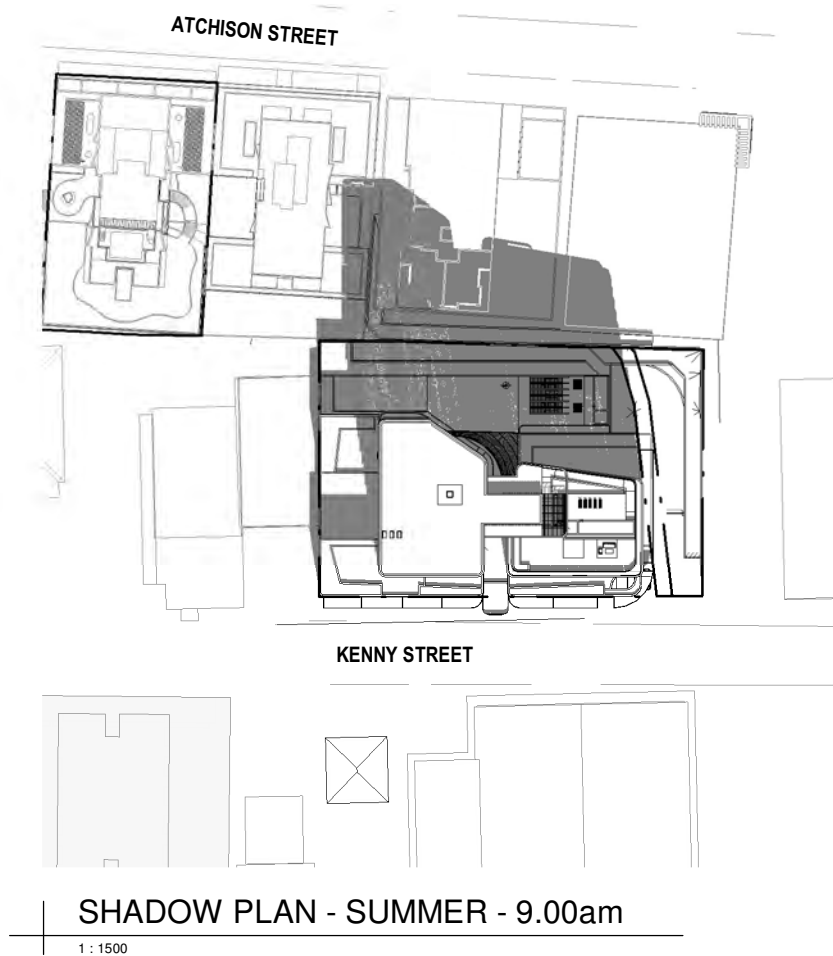
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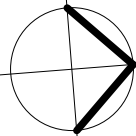
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	<b>DWA</b> DESIGN WORKSHOP AUSTRALIA	<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT	ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW	DRAWING NAME: SHADOWS - WINTER			ISSUE DATE: 12.06.2024 DRAWN: NT / DM SCALE: QA: RG	PROJECT No. <b>2563</b> DWG No. Rev. <b>072 AA</b>
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ADDITIONAL INFORMATION





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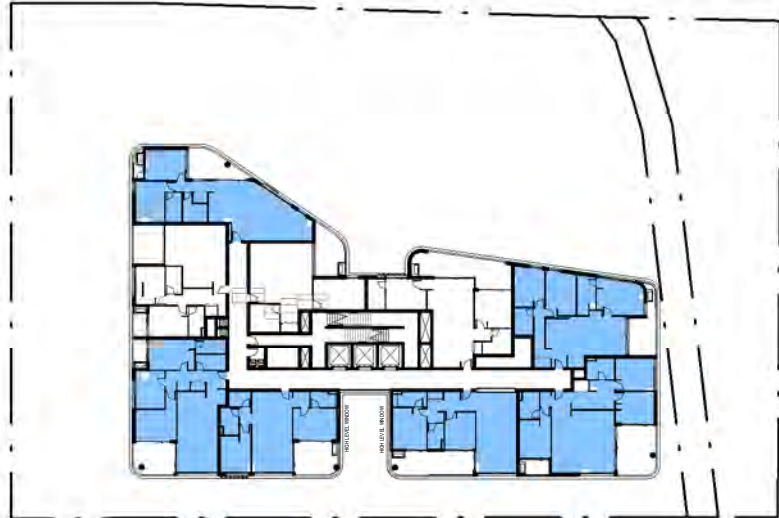
LEVEL 4

1 : 750



LEVEL 5

1 : 750



LEVEL 6



LEVEL 7

1 : 750



LEVEL 8

1 : 750



LEVEL 9

1 : 750

## CROSS VENTILATION

UNIT NO:	UNIT TYPE	CROSS VENT (YES/NO)	QTY	%
LEVEL 4				
401	1 BED	No	0	0.00%
402	3 BED	Yes	1	2.13%
403	2 BED	Yes	1	2.13%
404	3 BED	Yes	1	2.13%
LEVEL 5				
501	1 BED	No	0	0.00%
502	2 BED	No	0	0.00%
505	2 BED	Yes	1	2.13%
506	2 BED	Yes	1	2.13%
507	3 BED	Yes	1	2.13%
508	2 BED	No	0	0.00%
509	2 BED	Yes	1	2.13%
LEVEL 6				
601	1 BED	No	0	0.00%
602	2 BED	No	0	0.00%
603	3 BED	Yes	1	2.13%
604	3 BED	Yes	1	2.13%
605	2 BED	Yes	1	2.13%
606	2 BED	Yes	1	2.13%
607	3 BED	Yes	1	2.13%
608	2 BED	No	0	0.00%
609	2 BED	Yes	1	2.13%
LEVEL 7				
701	1 BED	No	0	0.00%
702	2 BED	No	0	0.00%
703	3 BED	Yes	1	2.13%
704	3 BED	Yes	1	2.13%
705	2 BED	Yes	1	2.13%
706	2 BED	Yes	1	2.13%
707	3 BED	Yes	1	2.13%
708	2 BED	No	0	0.00%
709	2 BED	Yes	1	2.13%
LEVEL 8				
801	1 BED	No	0	0.00%
802	2 BED	No	0	0.00%
803	3 BED	Yes	1	2.13%
804	3 BED	Yes	1	2.13%
805	2 BED	Yes	1	2.13%
806	2 BED	Yes	1	2.13%
807	3 BED	Yes	1	2.13%
808	2 BED	No	0	0.00%
809	2 BED	Yes	1	2.13%
LEVEL 9				
901	1 BED	No	0	0.00%
902	2 BED			
903	3 BED	Yes	1	2.13%
904	3 BED	Yes	1	2.13%
905	2 BED	Yes	1	2.13%
906	2 BED	Yes	1	2.13%
907	3 BED	Yes	1	2.13%
908	2 BED	No	0	0.00%
909	2 BED	Yes	1	2.13%
TOTAL: 47			31	65.96%

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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION

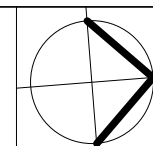
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Web: www.designworkshop.com.au

Sydney  
Level 10, 6 Mount  
Olympus Boulevard,  
Wolli Creek NSW 2205  
Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: CROSS VENTILATION

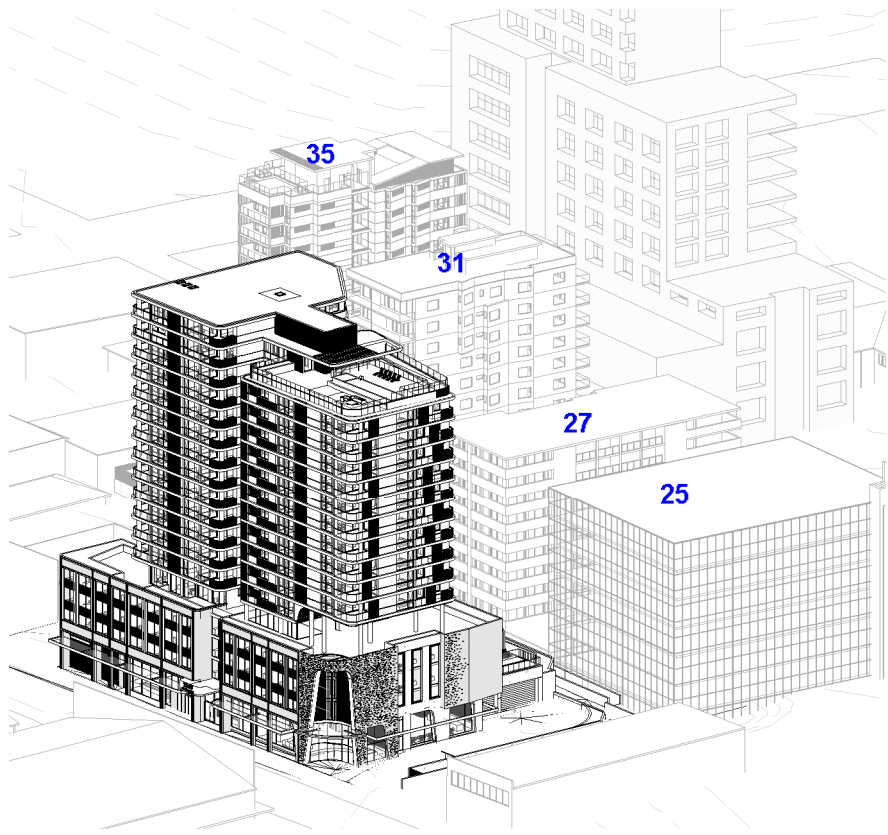


ISSUE DATE:  
12.06.2024  
DRAWN: NT / DM  
SCALE:  
QA: RG

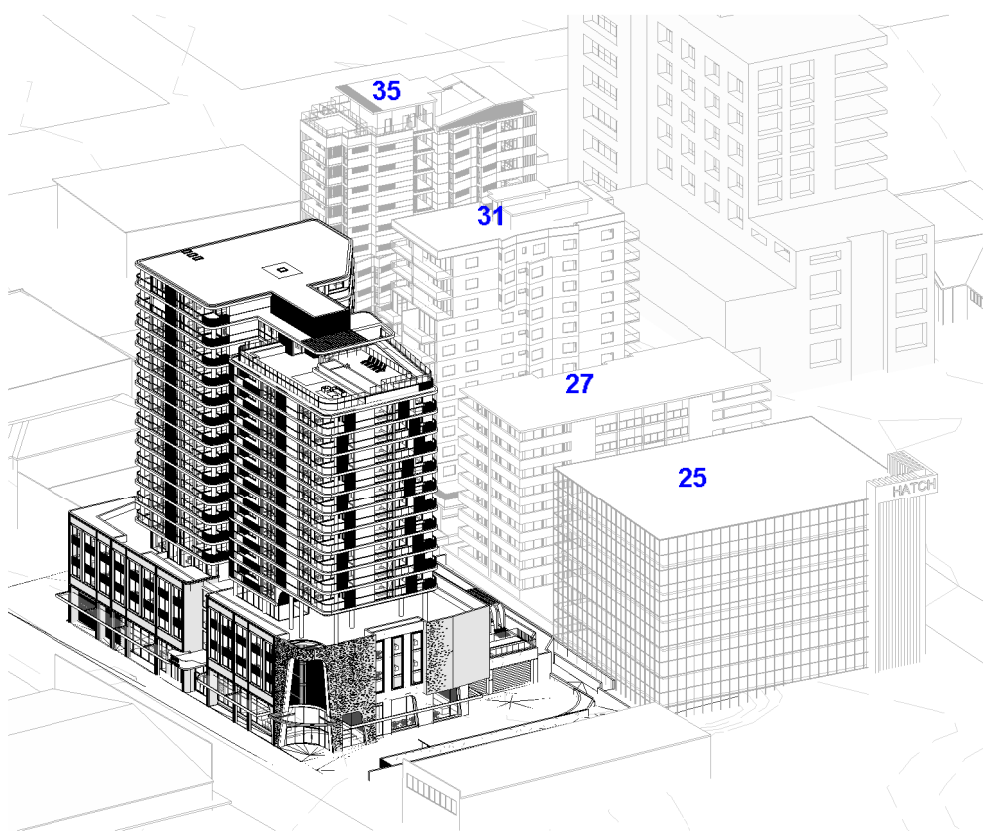
PROJECT No.  
2563  
DWG No. Rev.  
092 AA

## ADDITIONAL INFORMATION

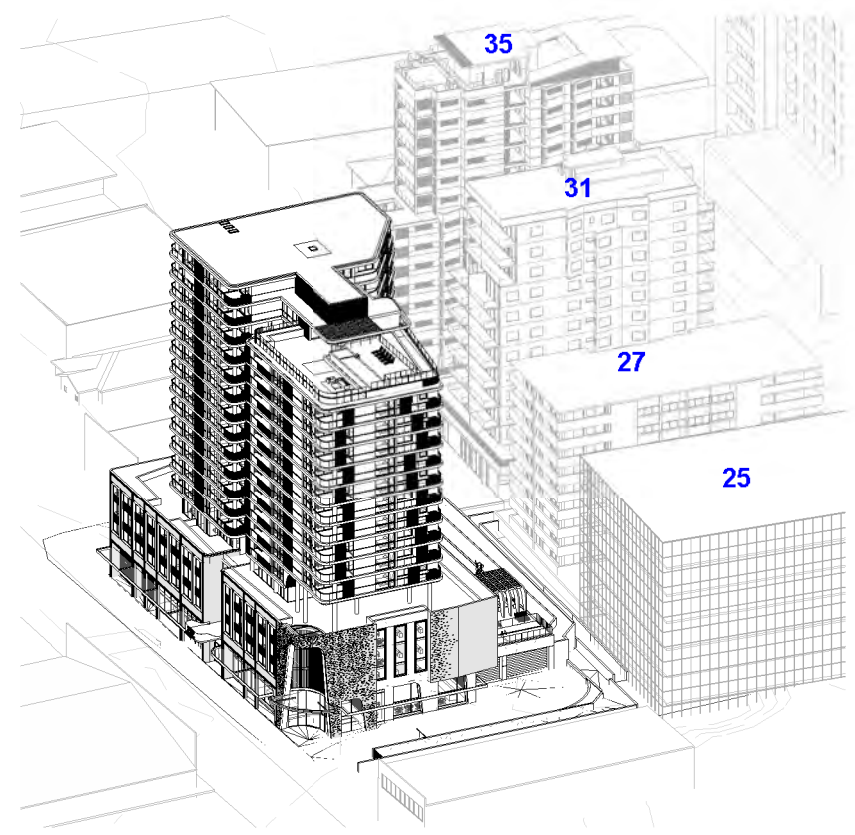




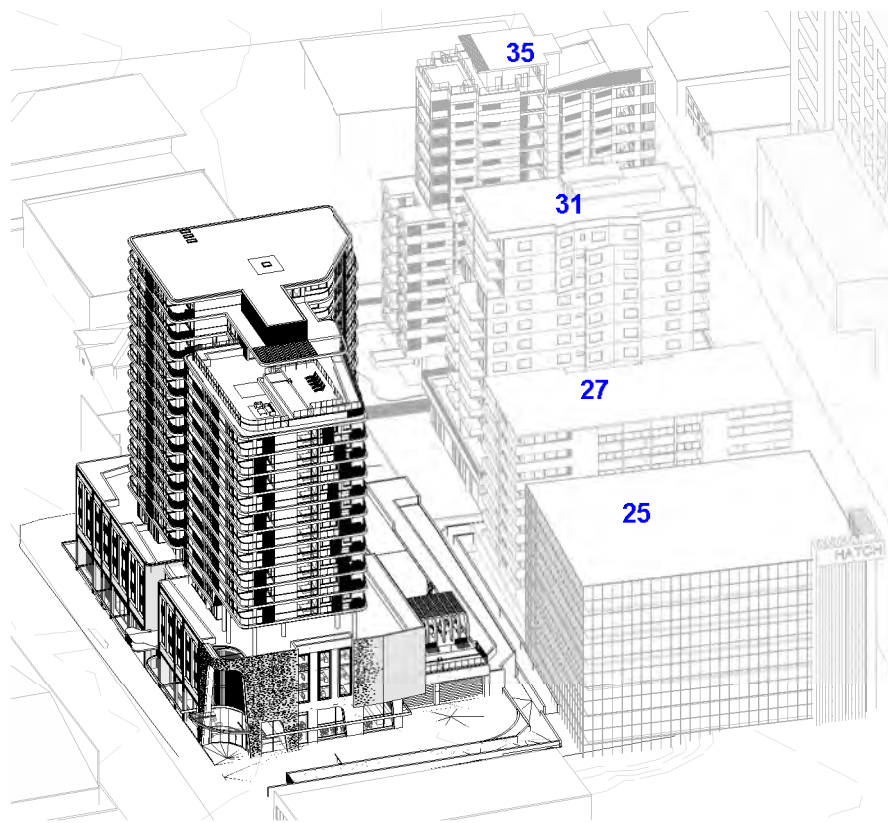
SOLAR ACCESS - 21/06/2023-9.00



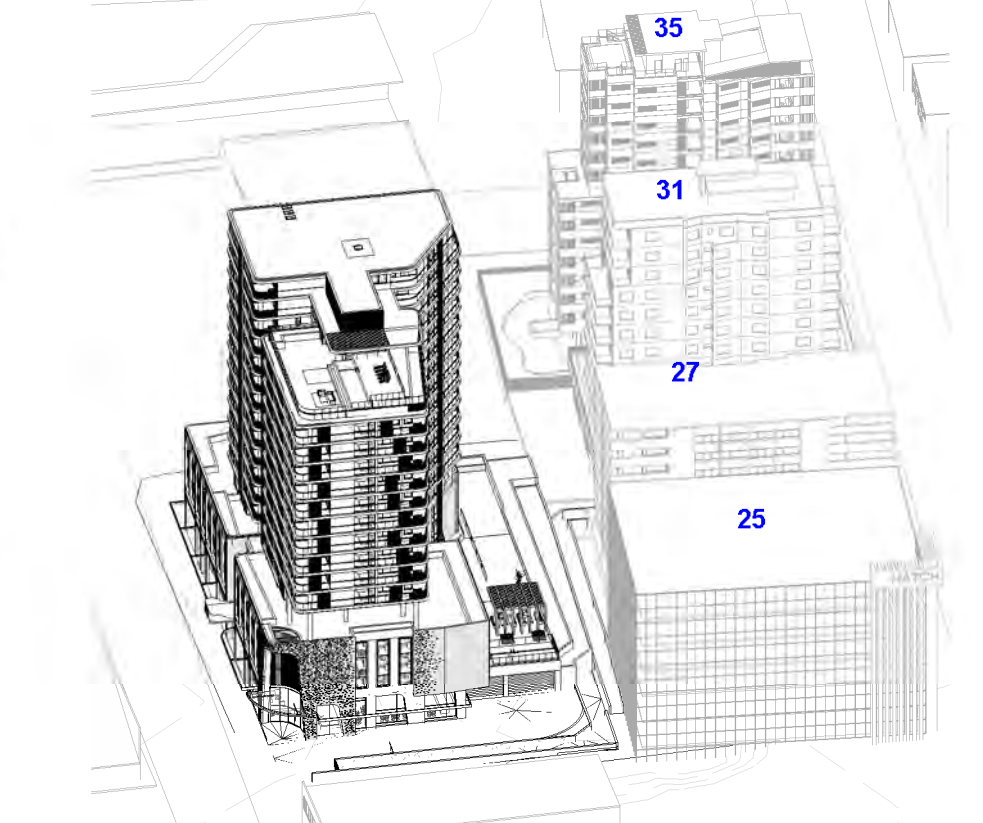
SOLAR ACCESS - 21/06/2023-9.30



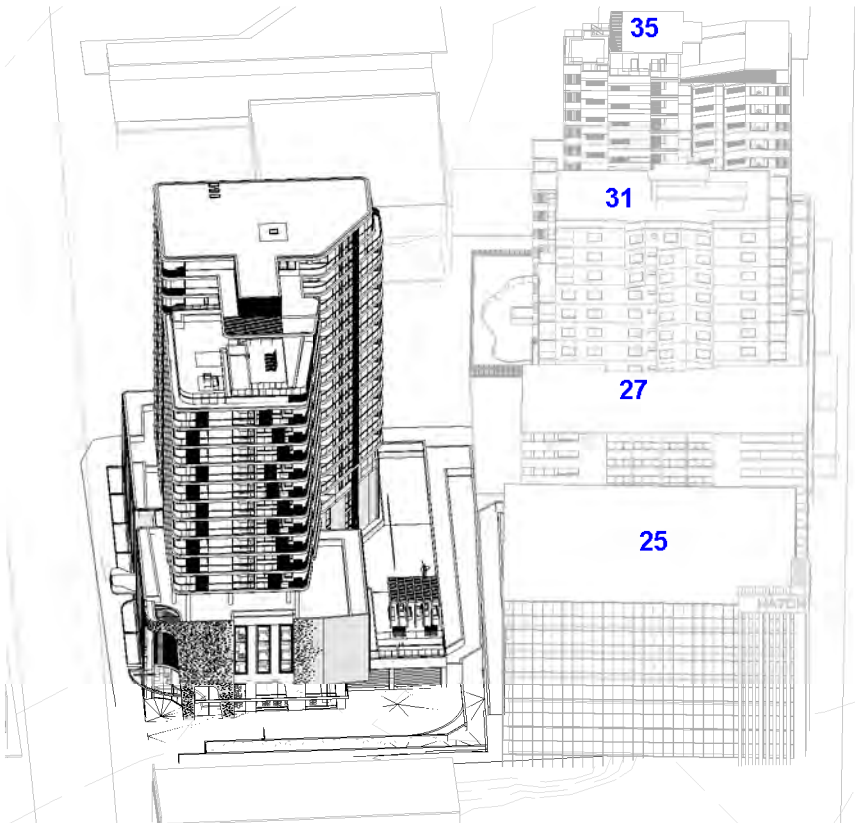
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SOLAR ACCESS - 21/06/2023-10.30



SOLAR ACCESS - 21/06/2023-11.00



SOLAR ACCESS - 21/06/2023-11.30

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REF.	DATE	AMENDMENT
AA	12.06.2024	ADDITIONAL INFORMATION
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.		



**Wollongong**  
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Level 10, 6 Mount  
Olympus Boulevard,  
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Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT
ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW
DRAWING NAME:	SOLAR ACCESS VIEWS

## ADDITIONAL INFORMATION

ISSUE DATE:	12.06.2024	PROJECT No.	2563
DRAWN: NT / DM		DWG No.	093
SCALE:		Rev.	AA
QA: RG			

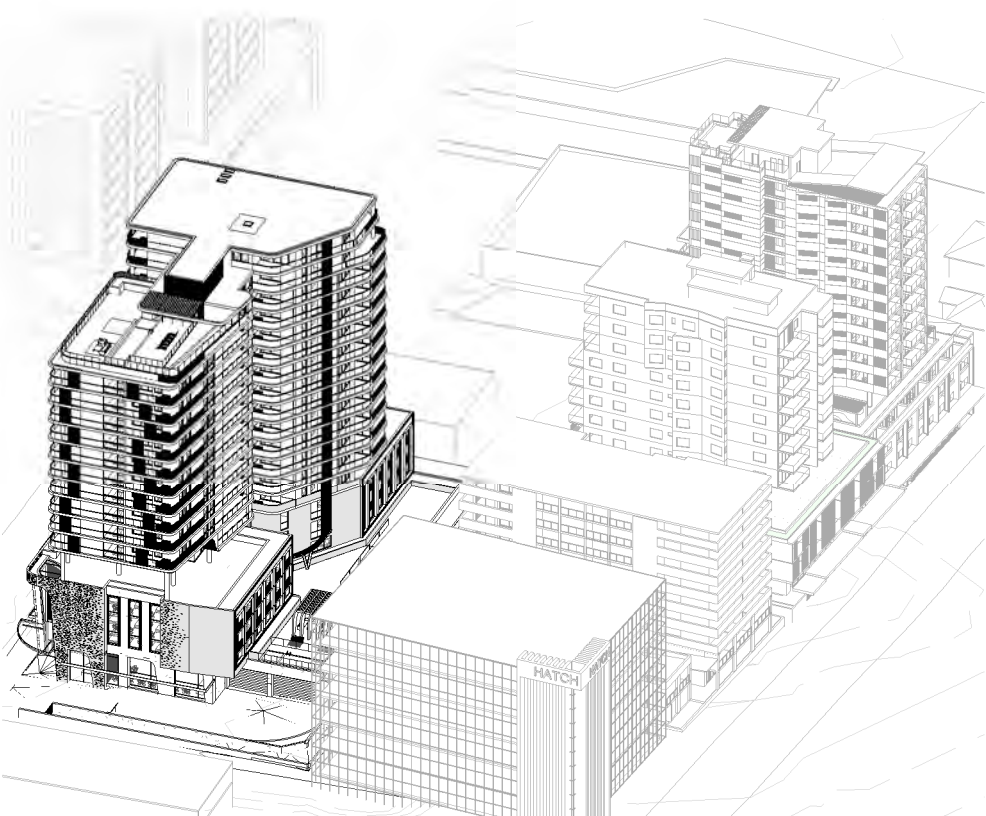




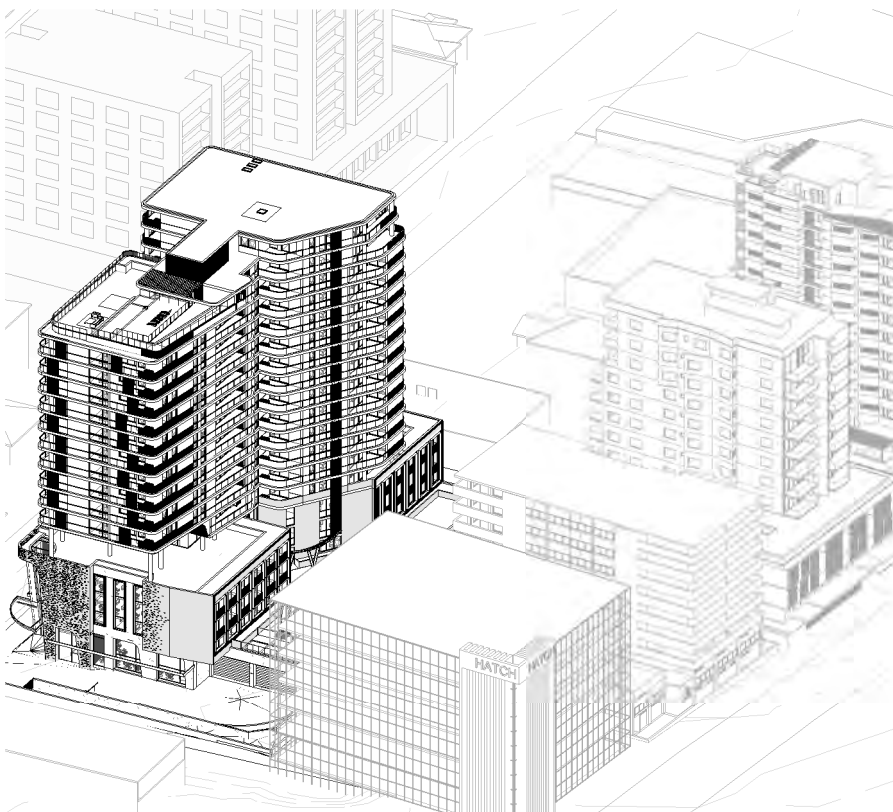
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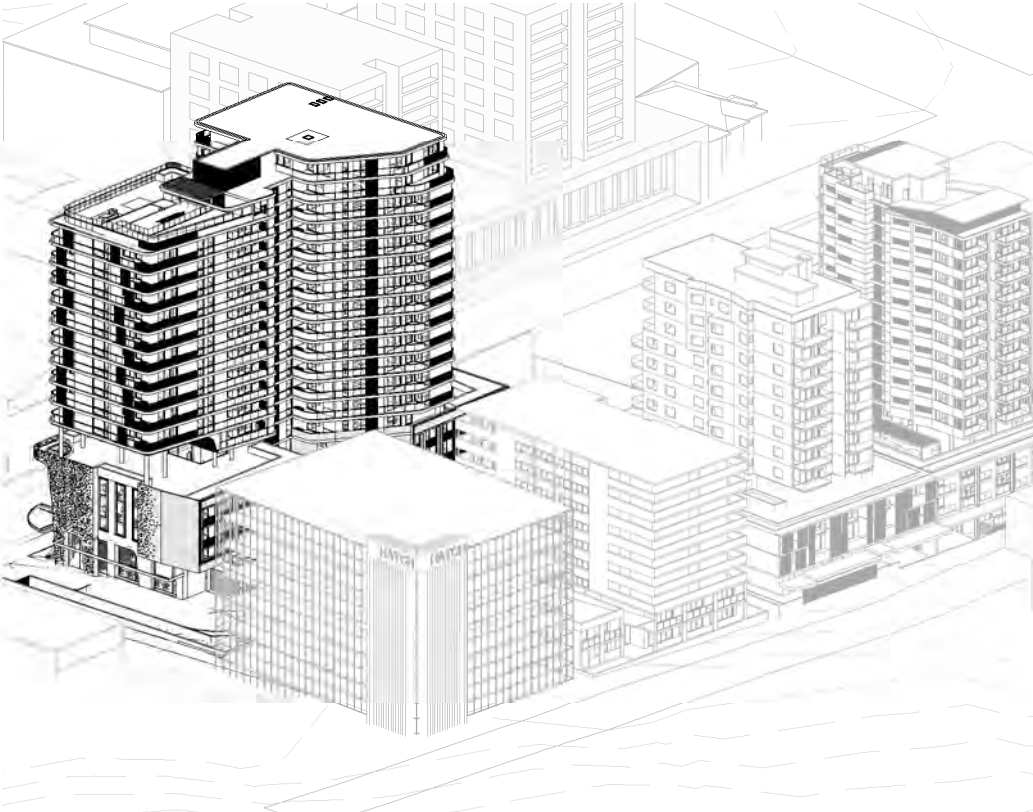
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SOLAR ACCESS - 21/06/2023-13.30



SOLAR ACCESS - 21/06/2023-14.00



SOLAR ACCESS - 21/06/2023-14.30

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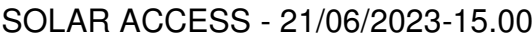
**Sydney**  
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Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: SOLAR ACCESS VIEWS

## ADDITIONAL INFORMATION

ISSUE DATE: 12.06.2024	PROJECT No. <b>2563</b>
DRAWN: LF	DWG No. Rev. <b>094 AA</b>
SCALE: QA: RG	





901	1 BED	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	2.0	1	0.95%	0	0.00%
902	2 BED	No	No	No	No	No	No	No	No	No	No	Yes	No	Yes	1.0	0	0.00%	0	0.00%
903	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
904	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	Yes	2.5	1	0.95%	0	0.00%
905	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	1.5	0	0.00%	0	0.00%
906	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
907	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
908	2 BED	No	No	No	No	No	No	No	No	No	No	No	No	No	0.0	0	0.00%	1	0.95%
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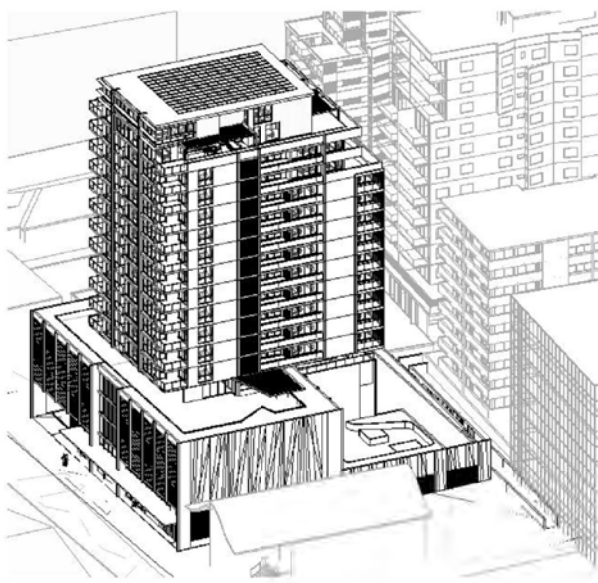
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09 : 00 AM

09 : 30 AM

10 : 00 AM

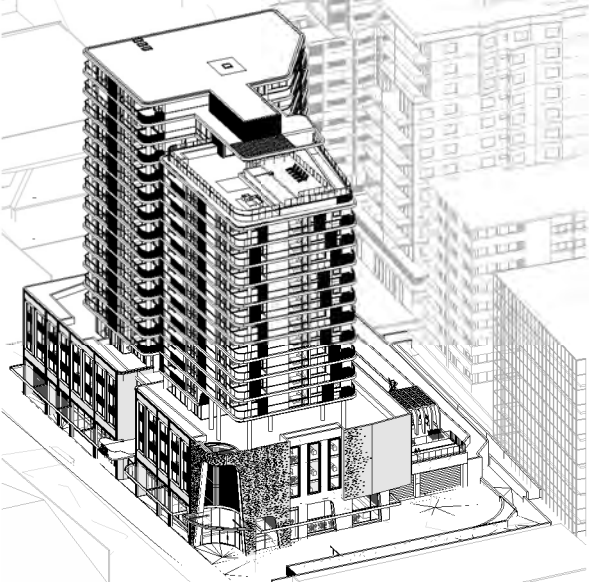
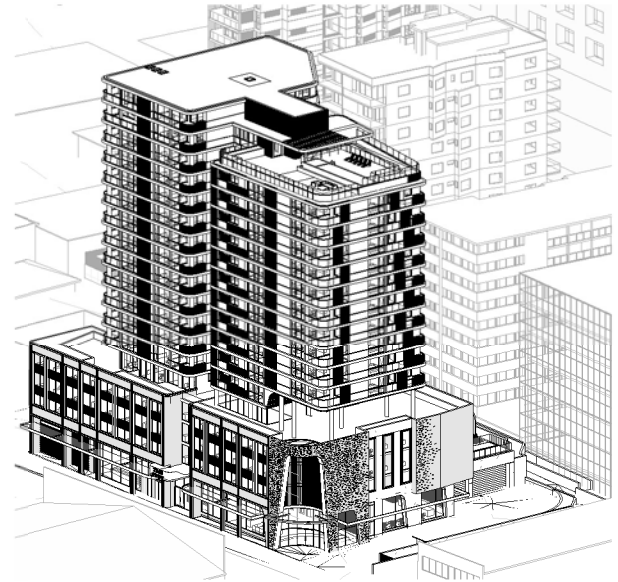


APPROVED DA

SOLAR ACCESS - 20/06/2020-9.00(APPROVED DA)



PROPOSED DA



AMENDED FORM

ADDITIONAL INFORMATION

DISCLAIMER

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Drawings are not are not suitable for purchase of property.  
All parking and ramps to traffic engineers details. (Subject to Approval)

REF. AA

DATE 12.06.2024

AMENDMENT  
ADDITIONAL INFORMATION

DISCLAIMER

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Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT

ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW

DRAWING NAME: SOLAR ACCESS\_COMPARATIVE ANALYSIS

ISSUE DATE: 12.06.2024

DRAWN: LF

SCALE: RG

PROJECT No. 2563

DWG No. 096

Rev. AA



10 : 30 AM

11 : 00 AM

11 : 30 AM

APPROVED DA

PROPOSED DA

AMENDED FORM

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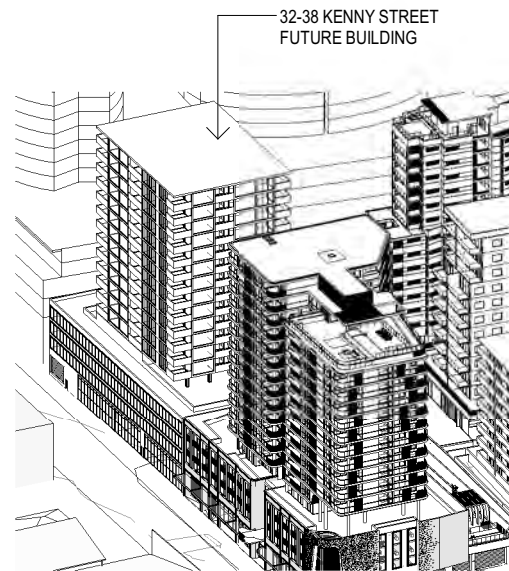
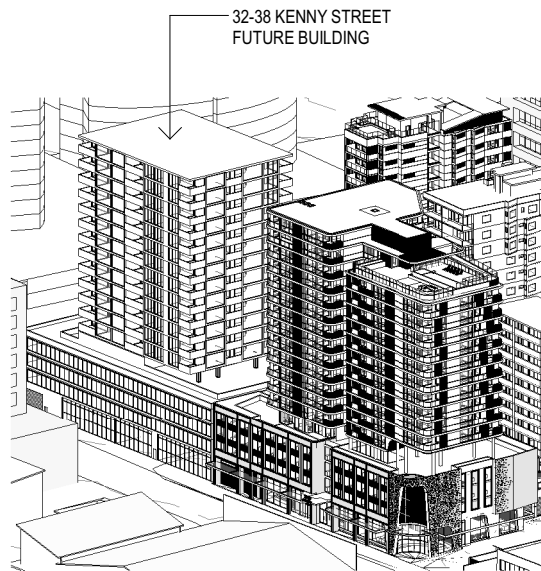
CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: SOLAR ACCESS\_COMPARATIVE ANALYSIS

ISSUE DATE: 12.06.2024  
DRAWN: Author  
SCALE:  
QA: Checker

PROJECT No. 2563  
DWG No. 096a  
Rev. AA

ADDITIONAL INFORMATION



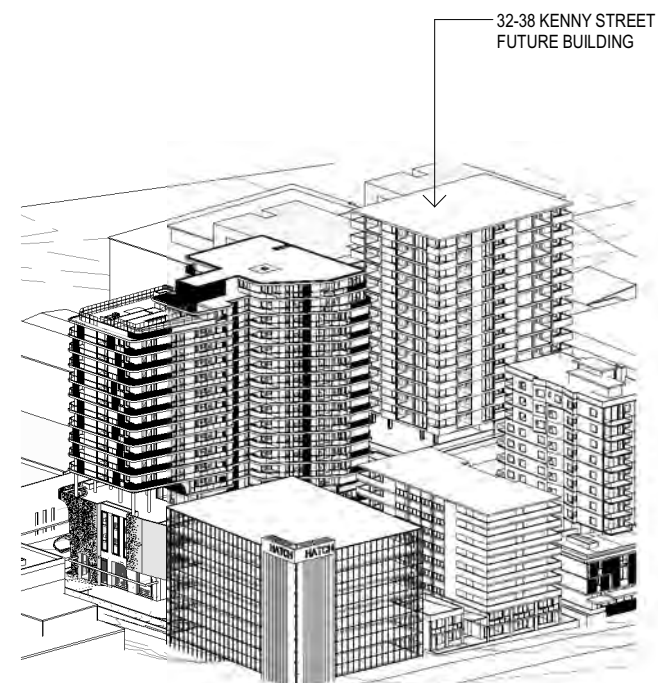
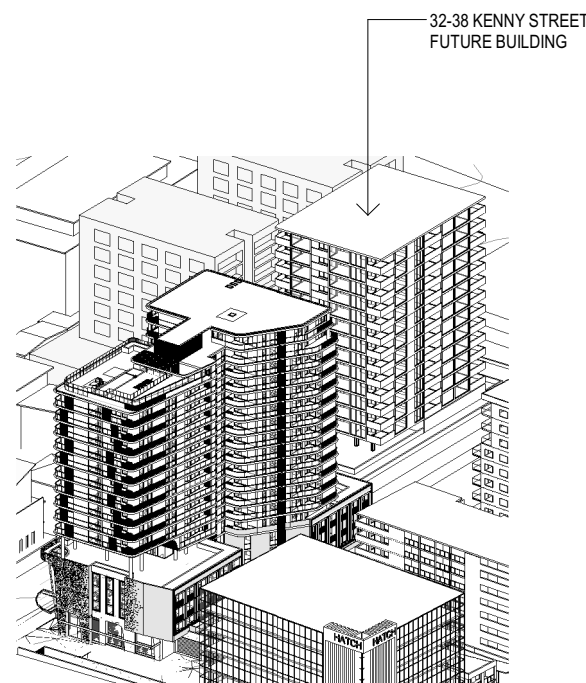
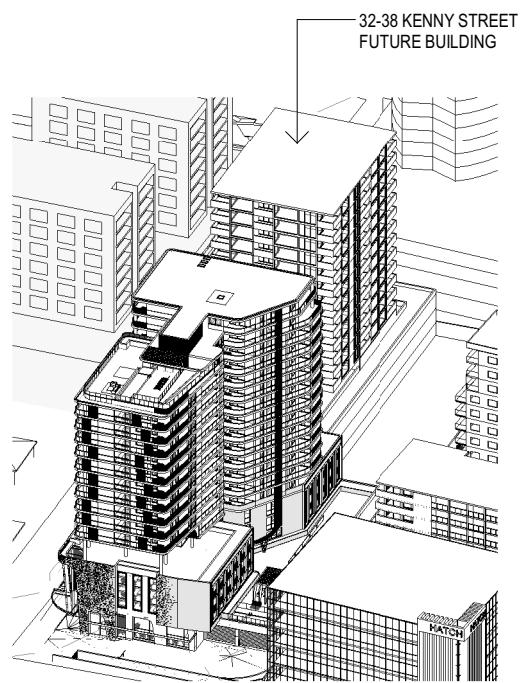


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SOLAR ACCESS - 21\_06\_2023-11.00

SOLAR ACCESS - 21\_06\_2023-12.00



SOLAR ACCESS - 21\_06\_2023-13.00

SOLAR ACCESS - 21\_06\_2023-14.00

SOLAR ACCESS - 21\_06\_2023-15.00

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Nominated Architect:  
Robert Gizzi (Reg. 8286)

CLIENT: BLAQ PROJECTS  
MIXED USE DEVELOPMENT  
ADDRESS: 22-30 KENNY STREET,  
WOLLONGONG, NSW  
DRAWING NAME: SOLAR ACCESS VIEWS FUTURE

## ADDITIONAL INFORMATION

ISSUE DATE: 12.06.2024	PROJECT No. <b>2563</b>
DRAWN: LF	DWG No. Rev.
SCALE:	<b>097 AA</b>
QA: RG	

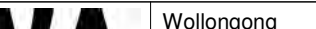


SOLAR COMPLIANCE TABLE (32-38 KENNY STREET, WOLLONGONG)			
UNIT NO:	HOURS OF SOLAR ACCESS:	TOTAL HOURS:	2 HOURS:
UNIT 1	2PM - 3PM	1 HRS	0
UNIT 2	9AM - 11AM	2 HRS	1
UNIT 3	9AM - 11AM	2 HRS	1
UNIT 4	9AM - 11AM	2 HRS	1
UNIT 5	1PM - 2PM	1 HR	0
UNIT 6	1PM - 2PM	1 HR	0
UNIT 7	1PM - 3PM	2 HRS	1
UNIT 8	2PM - 3PM	1 HRS	0
UNIT 9	9AM - 11AM	2 HRS	1
UNIT 10	9AM - 11AM	2 HRS	1
UNIT 11	9AM - 11AM	2 HRS	1
UNIT 12	1PM - 2PM	1 HR	0
UNIT 13	1PM - 2PM	1 HR	0
UNIT 14	1PM - 3PM	2 HRS	1
UNIT 15	2PM - 3PM	1 HRS	0
UNIT 16	9AM - 11AM	2 HRS	1
UNIT 17	9AM - 11AM	2 HRS	1
UNIT 18	9AM - 11AM	2 HRS	1
UNIT 19	1PM - 2PM	1 HR	0
UNIT 20	1PM - 2PM	1 HR	0
UNIT 21	1PM - 3PM	2 HRS	1
UNIT 22	2PM - 3PM	1 HRS	0
UNIT 23	9AM - 11AM	2 HRS	1
UNIT 24	9AM - 11AM	2 HRS	1
UNIT 25	9AM - 11AM	2 HRS	1
UNIT 26	1PM - 2PM	1 HR	0
UNIT 27	1PM - 2PM	1 HR	0
UNIT 28	1PM - 3PM	2 HRS	1
UNIT 29	2PM - 3PM	2 HRS	0
UNIT 30	9AM - 11AM	2 HRS	1
UNIT 31	9AM - 11AM	2 HRS	1
UNIT 32	9AM - 11AM	2 HRS	1
UNIT 33	1PM - 3PM	2 HRS	1
UNIT 34	1PM - 3PM	2 HRS	1
UNIT 35	1PM - 3PM	2 HRS	1
UNIT 36	2PM - 3PM	2 HRS	0
UNIT 37	9AM - 11AM	2 HRS	1
UNIT 38	9AM - 11AM	2 HRS	1
UNIT 39	9AM - 11AM	2 HRS	1
UNIT 40	1PM - 3PM	2 HRS	1
UNIT 41	1PM - 3PM	2 HRS	1
UNIT 42	1PM - 3PM	2 HRS	1
UNIT 43	2PM - 3PM	1 HRS	0
UNIT 44	9AM - 11AM	2 HRS	1
UNIT 45	9AM - 11AM	2 HRS	1
UNIT 46	9AM - 11AM	2 HRS	1

SOLAR COMPLIANCE TABLE (32-38 KENNY STREET, WOLLONGONG)			
UNIT NO:	HOURS OF SOLAR ACCESS:	TOTAL HOURS:	2 HOURS:
UNIT 47	1PM - 3PM	2 HRS	1
UNIT 48	1PM - 3PM	2 HRS	1
UNIT 49	1PM - 3PM	2 HRS	1
UNIT 50	2PM - 3PM	1 HRS	0
UNIT 51	9AM - 11AM	2 HRS	1
UNIT 52	9AM - 11AM	2 HRS	1
UNIT 53	9AM - 11AM	2 HRS	1
UNIT 54	1PM - 3PM	2 HRS	1
UNIT 55	1PM - 3PM	2 HRS	1
UNIT 56	1PM - 3PM	2 HRS	1
UNIT 57	1PM - 3PM	2 HRS	1
UNIT 58	9AM - 11AM	2 HRS	1
UNIT 59	9AM - 11AM	2 HRS	1
UNIT 60	9AM - 11AM	2 HRS	1
UNIT 61	1PM - 3PM	2 HRS	1
UNIT 62	1PM - 3PM	2 HRS	1
UNIT 63	1PM - 3PM	2 HRS	1
UNIT 64	1PM - 3PM	2 HRS	1
UNIT 65	9AM - 11AM	2 HRS	1
UNIT 66	9AM - 11AM	2 HRS	1
UNIT 67	9AM - 11AM	2 HRS	1
UNIT 68	1PM - 3PM	2 HRS	1
UNIT 69	1PM - 3PM	2 HRS	1
UNIT 70	1PM - 3PM	2 HRS	1
UNIT 71	1PM - 3PM	2 HRS	1
UNIT 72	9AM - 11AM	2 HRS	1
UNIT 73	9AM - 11AM	2 HRS	1
UNIT 74	9AM - 11AM	2 HRS	1
UNIT 75	1PM - 3PM	2 HRS	1
UNIT 76	1PM - 3PM	2 HRS	1
UNIT 77	1PM - 3PM	2 HRS	1
UNIT 78	1PM - 3PM	2 HRS	1
UNIT 79	9AM - 11AM	2 HRS	1
UNIT 80	9AM - 11AM	2 HRS	1
UNIT 81	9AM - 11AM	2 HRS	1
UNIT 82	1PM - 3PM	2 HRS	1
UNIT 83	1PM - 3PM	2 HRS	1
UNIT 84	1PM - 3PM	2 HRS	1
UNIT 85	1PM - 3PM	2 HRS	1
UNIT 86	9AM - 11AM	2 HRS	1
UNIT 87	9AM - 11AM	2 HRS	1
UNIT 89	9AM - 11AM	2 HRS	1
UNIT 90	1PM - 3PM	2 HRS	1
UNIT 91	1PM - 3PM	2 HRS	1
TOTAL		75 / 91 UNITS (82%)	

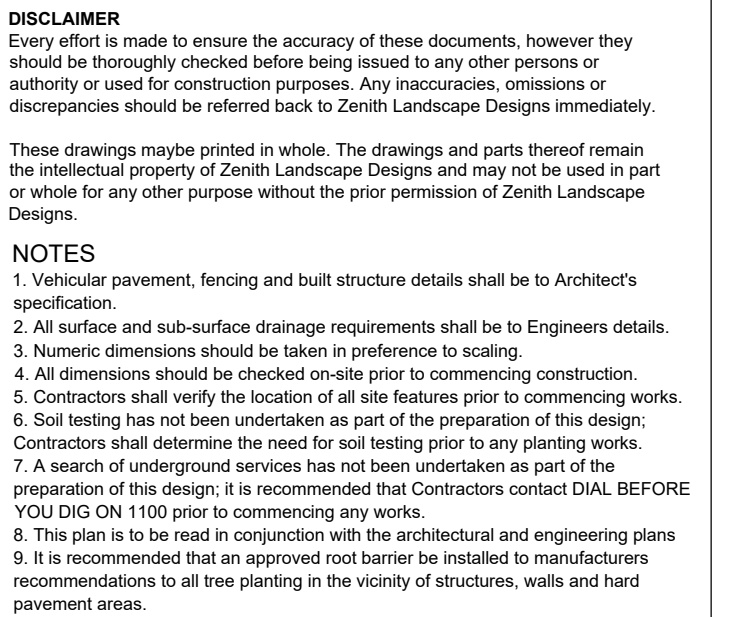
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REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		<b>Wollongong</b> 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	<b>Sydney</b> Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: BLAQ PROJECTS MIXED USE DEVELOPMENT	ADDRESS: 22-30 KENNY STREET, WOLLONGONG, NSW	DRAWING NAME: FUTURE CONTEXT - SOLAR CALCULATIONS	ISSUE DATE: 12.06.2024 DRAWN: NT / DM/ML SCALE: QA: RG	PROJECT No. <b>2563</b>
<b>DISCLAIMER</b> All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. Copyright of DWA.										DWG No. Rev. <b>098 AA</b>

ADDITIONAL INFORMATION

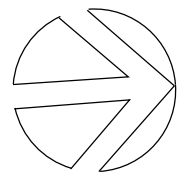




Weeping Lily Pilly      Kentia Palm      Imperial Bromeliad      Rojo Congo Philodendron      Dwarf Philodendron      Little Phil Philodendron







A1

sample project images



pergola & climbers



pool setting



grass open space area



function spaces



palm outlook garden

#### PLANT CODES

(refer also to plant schedule)

AA	Asplenium australasicum
AI	Acanthaceae imperialis 'Rubra'
AM	Acmena 'Mimipilly'
AR	Archontophoenix sp.
AS	Acmena 'Sublime'
BC	Backhousia citrifolia
BI	Banksia integrifolia
BM	Buxus microphylla 'Japonica'
BS	Blechnum 'Silver Lady'
DS	Cupressus anacardoides
CAL	Correa alba
CAN	Cissus antarctica
CAP	Chrysanthemum apiculatum
CB	Crassula 'Bluebird'
CBF	Callistemon 'Sweet Balls of Fire'
CC	Casuarina 'Cousin It'
CG	Casuarina 'Green Wave'
CGI	Carpetobrotus glaucosens
CR	Ocotea revoluta
DE	Dianella 'Emerald Arch'
DJ	Dracena 'Jabel Craig Compact'
DS	Dichondra repens
DS	Dichondra 'Silver Falls'
EE	Elaeocarpus eumundi
HF	Howea forsteriana
HS	Hymenocallis 'Gold Nugget'
HT	Hibiscus tiliaceus 'Rubra'
LB	Laurus 'Baby Bay'
LS	Lomandra 'Seascape'
LT	Lomandra longifolia 'Tanika'
LR	Lycium ramosum
MS	Magnolia 'Sweet Spire'
NO	Nandina 'Obsession'
PA	Platanus excelsa
PL	Philadelphium 'Little Phil'
PR	Philadelphium 'Rope Congo'
PN	Pennisetum 'Nafay'
PS	Pyrus 'Southworth Dancer'
PH	Philadelphium 'Nanedi'
RC	Rosmarinus 'Chef's Choice'
RE	Rhipsalis excelsa
SC	Syzygium 'Cascade'
TP	Tradescantia 'Purple Knight'
TT	Trachelospermum 'Trotter'
WL	Westringia 'Low Horizon'
VH	Viola hederacea
ZG	Zelkova 'Green Vase'
ZZ	Zamioculcus 'Zanzibar Gem'

R.L 38.000 LEVEL 8

R.L 34.900 LEVEL 7

R.L 31.800 LEVEL 6

R.L 28.700 LEVEL 5

R.L 25.400 LEVEL 4

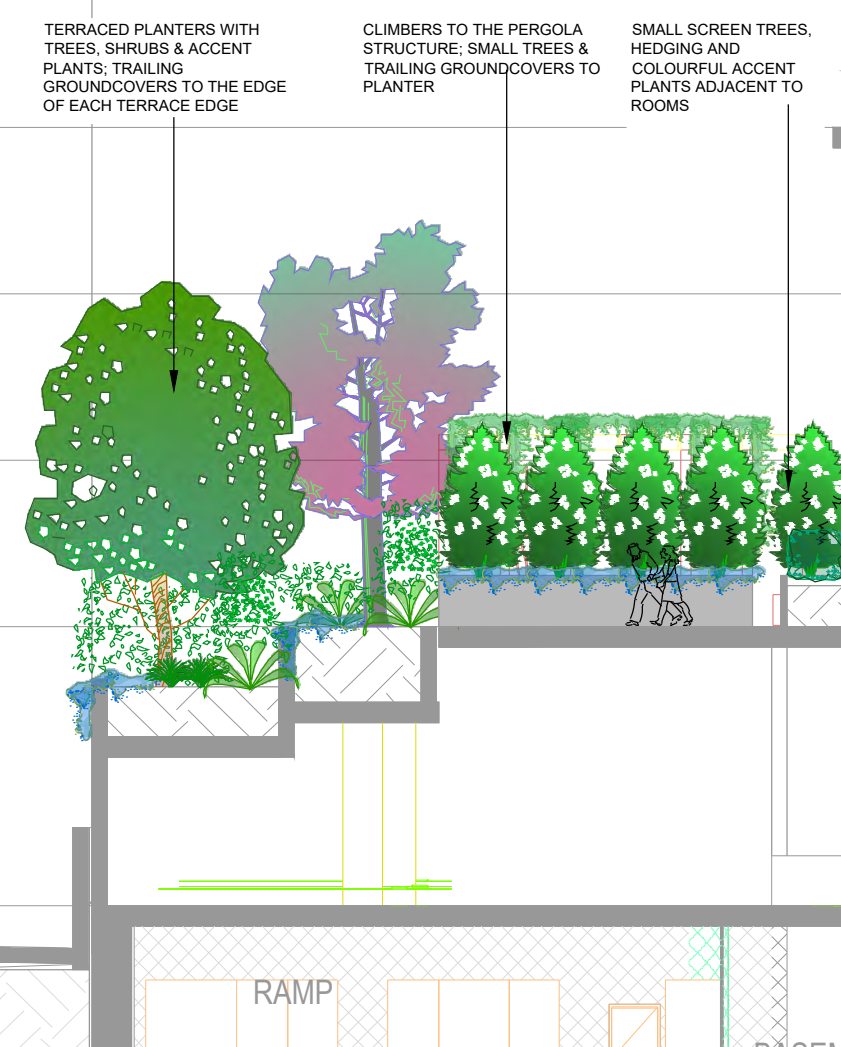
R.L 22.100 LEVEL 3

R.L 18.800 LEVEL 2

R.L 15.500 LEVEL 1

R.L 9.950 GROUND FL

SECTION BB 1:100



#### IRRIGATION NOTE

1. All mass planted beds will require a fully automated irrigation system which is to be designed and installed by an appropriately qualified irrigation consultant, Landscape Contractor or tradesperson prior to planting.
2. The irrigation system shall be designed and installed in accordance with all relevant Australian Standards and the current water restrictions that are in place at the time of construction.
3. The design of the irrigation system shall only be carried out after water pressure testing has been undertaken.
4. The irrigation system shall be installed and in full working order prior to any planting works taking place.
5. The site superintendent and all other relevant personnel shall be fully conversant with the operational requirements of the system prior to planting taking place.

#### DISCLAIMER

Every effort is made to ensure the accuracy of these documents, however they should be thoroughly checked before being issued to any other persons or authority or used for construction purposes. Any inaccuracies, omissions or discrepancies should be referred back to Zenith Landscape Designs immediately.

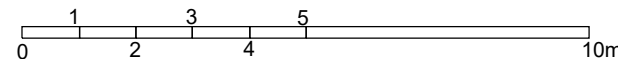
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**NOTES**

1. Vehicular pavement, fencing and built structure details shall be to Architect's specification.
2. All surface and sub-surface drainage requirements shall be to Engineers details.
3. Numeric dimensions should be taken in preference to scaling.
4. All dimensions should be checked on-site prior to commencing construction.
5. Contractors shall verify the location of all site features prior to commencing works.
6. Soil testing has not been undertaken as part of the preparation of this design; Contractors shall determine the need for soil testing prior to any planting works.
7. A search of underground services has not been undertaken as part of the preparation of this design; it is recommended that Contractors contact DIAL BEFORE YOU DIG ON 1100 prior to commencing any works.
8. This plan is to be read in conjunction with the architectural and engineering plans.
9. It is recommended that an approved root barrier be installed to manufacturers recommendations to all tree planting in the vicinity of structures, walls and hard pavement areas.

NOT FOR CONSTRUCTION

LEVEL ONE PLAN 1:100


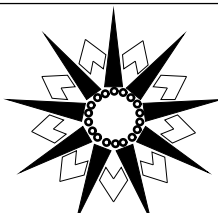


KENNY

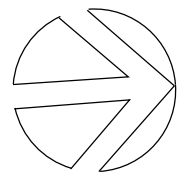
STREET



Australian Fan Palm Japanese Elm Lemon Scented Myrtle Bangalow Palm Kentia Palm Ornamental Pear Quandong Sublime Lilly Pilly Slender Lady Palm Weeping Lilly Pilly Silver Lady Fern Sago Palm Birds Nest Fern Japanese Box Dwarf Philodendron Flax Lily Native Kidney Plant Silver Dichondra Purple Knight Variegated Jasmine Native Violet Kangaroo Vine

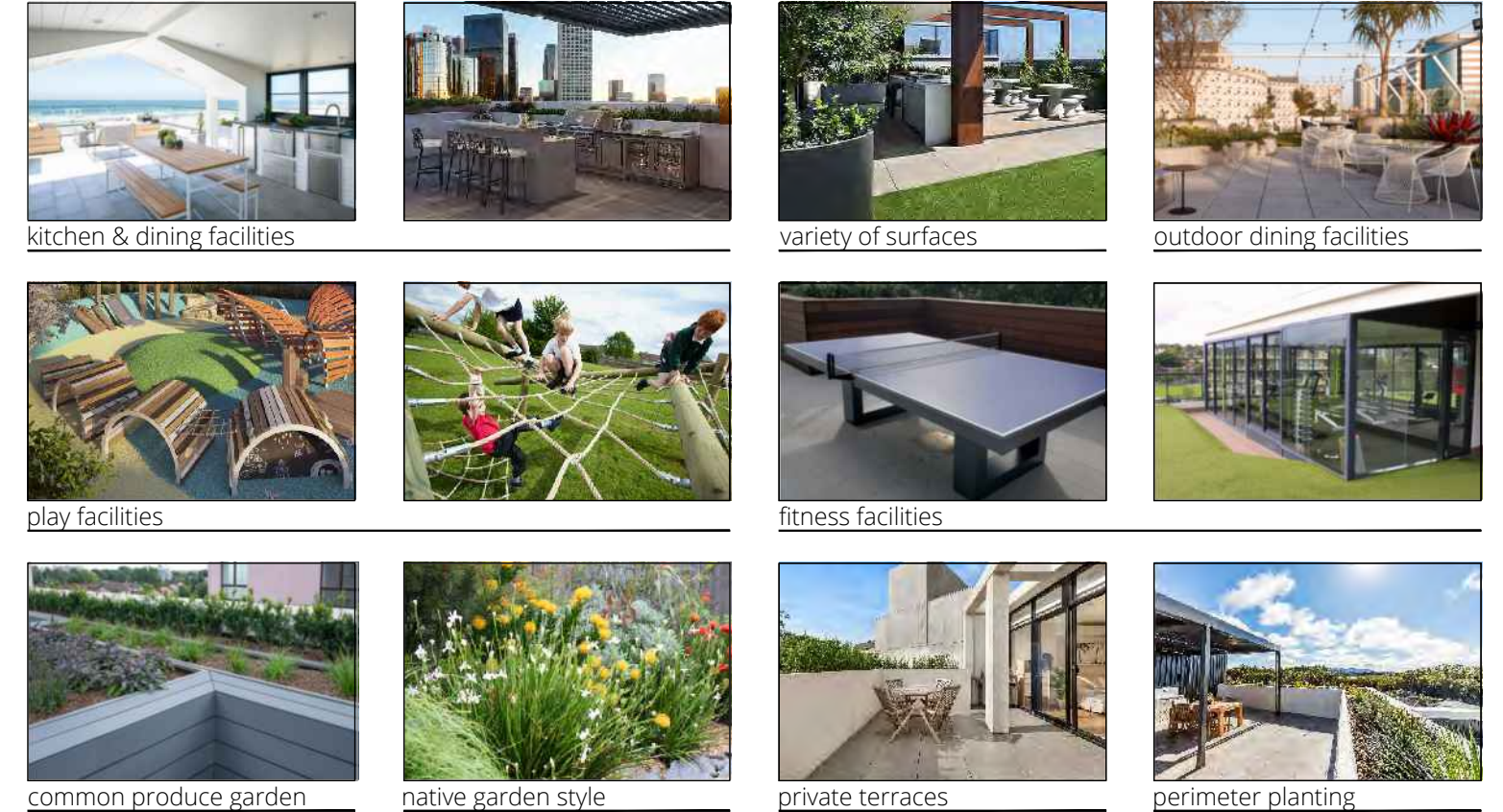
 Landscape Design Institute Registered Member	Rev. no.	Description:	Date:	Rev. no.	Description:	Date:	ARBORIST:
	A	REVISED ARCHITECTURAL DESIGN	20.09.2023				SURVEY: CEH CONSULTING
	B	REVISED ARCHITECTURAL DESIGN	27.02.2024				HYDRAULIC: ATB CONSULTING ENGINEERS
	C	REVISED STORMWATER DESIGN	11.06.2024				ARCHITECT: DWA
							 ZENITH LANDSCAPE DESIGNS Ph: 9545 5200 info@zenithlandscapes.com.au
							22-30 KENNY STREET WOLLONGONG
							TITLE: LANDSCAPE PLAN STATUS: DA CHECKED: MFG DRAWN: MAG DATE: 14.09.2023
							SCALES: 1:150 SHEET 2 OF 5 DRAWING No. 23-4939 LO2 REVISION: C





PLANT CODES	
(refer also to plant schedule)	
AA	Asplenium australasicum
AI	Alcantarea imperialis 'Rubra'
AM	Acmena 'Minigilly'
AR	Archontophoenix sp.
AS	Acmena 'Sublime'
BC	Baccharis citrifolia
BI	Banksia integrifolia
BM	Banksia myrsinifolia 'Japonica'
BS	Blechnum 'Silver Lady'
CA	Cupressus anacardioides
CAL	Cornus alba
CAN	Cissus antarctica
CAP	Chrysosplenium apiculatum
CB	Crassula 'Bluebird'
CBF	Callistemon 'Great Balls of Fire'
CC	Casuarina 'Cousin It'
CG	Casuarina 'Green Wave'
CGL	Carpobrotus glaucescens
CR	Cycas revoluta
DE	Dianella 'Emerald Arch'
DJ	Dracena 'Jabel Craig Compacta'
DR	Dichondra repens
DS	Dichondra 'Silver Falls'
EE	Elaeagnus 'Nurella'
HF	Howea forsteriana
HG	Hymenocallis 'Gold Nugget'
HT	Hibiscus 'Blackout'
LB	Laurus 'Baby Bay'
LS	Lomandra 'Seascape'
LT	Lomandra longifolia 'Tanka'
LR	Lonicera 'Sweet Spire'
MS	Magnolia 'Obsession'
NO	Nandina 'Obsession'
PA	Plumiera acutifolia
PL	Philadelphus 'Lilac Phil'
PN	Philadelphus 'Rajpoot'
PR	Pennisetum 'Nallia'
PS	Pyrus 'Southwest Dancer'
PX	Philadelphus 'Xanadu'
RC	Rosa 'Rhapsody'
RE	Rhipsalis 'Excelsa'
SC	Strydom 'Cascade'
TP	Tradescantia 'Purple Knight'
TT	Tradescantia 'Tricolor'
WL	Wisteria 'Low Horizon'
ZZ	Zelkova 'Green Vase'
ZZ	Zamoculus 'Zanzibar Gem'

sample project images



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**NOTES**

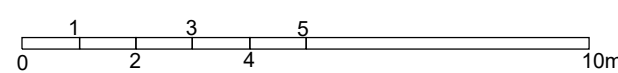
1. Vehicular pavement, fencing and built structure details shall be to Architect's specification.
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9. It is recommended that an approved root barrier be installed to manufacturers recommendations to all tree planting in the vicinity of structures, walls and hard pavement areas.


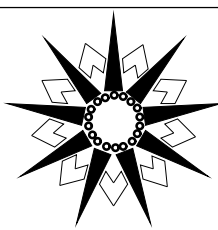
**IRRIGATION NOTE**

1. All mass planted beds will require a fully automated irrigation system which is to be designed and installed by an appropriately qualified irrigation consultant, Landscape Contractor or tradesperson prior to planting.
2. The irrigation system shall be designed and installed in accordance with all relevant Australian Standards and the current water restrictions that are in place at the time of construction.
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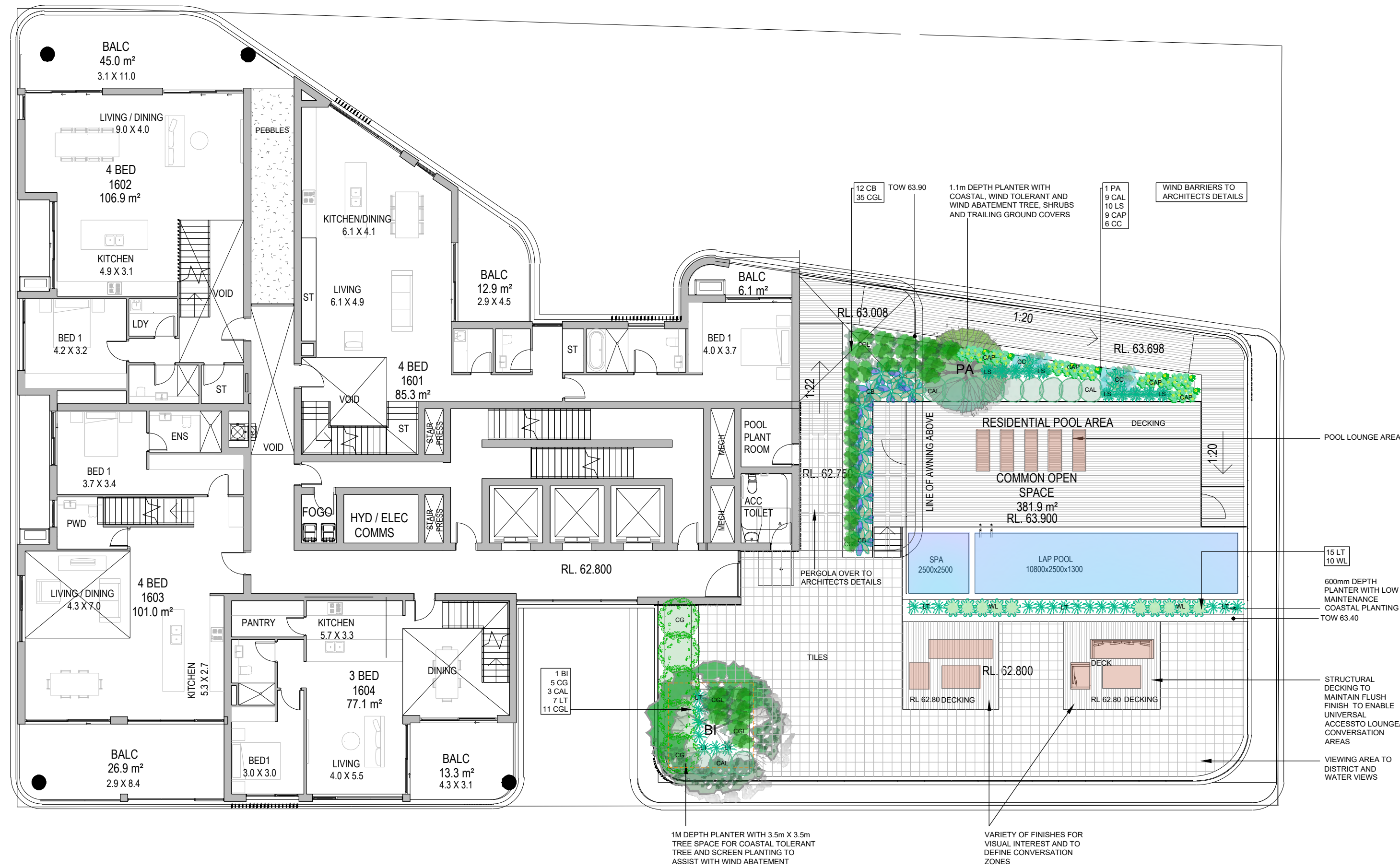
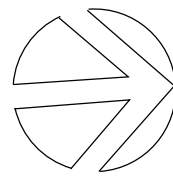
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LEVEL FOUR PLAN 1:100



	Rev. no.	Description:	Date:	Rev. no.	Description:	Date:	ARBORIST:
	A	REVISED ARCHITECTURAL DESIGN	20.09.2023				SURVEY: CEH CONSULTING
	B	REVISED ARCHITECTURAL DESIGN	27.02.2024				HYDRAULIC: ATB CONSULTING ENGINEERS
	C	REVISED STORMWATER DESIGN	11.06.2024				ARCHITECT: DWA
							 <b>ZENITH</b> LANDSCAPE DESIGNS Ph: 9545 5200 info@zenithlandscapes.com.au
							22-30 KENNY STREET WOLLONGONG
							TITLE: LANDSCAPE PLAN STATUS: DA CHECKED: MFG DRAWN: MAG DATE: 14.09.2023
							SCALES: 1:150 SHEET 3 OF 5 DRAWING No. 23-4939 LO3 REVISION: C





PLANT CODES	
(refer also to plant schedule)	
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AI	Asplenium imperiale 'Rubra'
AM	Azalea 'Mingyil'
AR	Archontophoenix sp.
AS	Azalea 'Sublime'
BC	Banksia integrifolia
BI	Banksia integrifolia
BM	Banksia microphylla 'Japonica'
BS	Blechnum 'Silver Lady'
CA	Cupressus anacardioides
CAL	Correa alba
CAN	Cissus antarctica
CAP	Chrysanthemum apiculatum
CB	Crassula 'Bluebird'
CBF	Callistemon 'Great Balls of Fire'
CC	Casuarina 'Coastal II'
CG	Casuarina 'Green Wave'
CGL	Carpobrotus glaucescens
CR	Cycas revoluta
DE	Dianella 'Emerald Arch'
DJ	Dracena 'Jabet Craig Compacta'
DR	Dichondra repens
DS	Dichondra 'Silver Falls'
EE	Elaeagnus eumundi
HF	Howea forsteriana
HG	Hymenocarpus 'Gold Nugget'
HT	Hibiscus ilicifolius 'Rubra'
LB	Laurus 'Baby Bay'
LS	Lomandra 'Seascape'
LT	Lomandra longifolia 'Tanika'
LR	Licuala ramsayi
MS	Magnolia 'Sweet Spire'
NO	Nandina 'Obsession'
PA	Plumeria acutifolia
PL	Philadelphus 'Little Phil'
PR	Philadelphus 'Rajo Congo'
PN	Penstemon 'Nativity'
PS	Pyrus 'Southwest Dancer'
PX	Philadelphus 'Xanadu'
RC	Rosmarinus 'Chef's Choice'
RE	Rhipsalis excelsa
SC	Syzygium 'Cascade'
TP	Trachycarpus 'Purple Knight'
TT	Trachycarpus 'Tricolor'
WL	Westringia 'Low Horizon'
VH	Viburnum 'Green Vase'
ZG	Zelkova 'Green Vase'
ZZ	Zamia 'Zanzibar Gem'

sample project images



pool area facilities



seating & conversation zones



planting to street edge



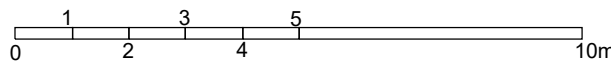
native coastal planting style



KENNY

STREET

LEVEL SIXTEEN PLAN 1:100



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## PLANT SCHEDULE - GROUND FLOOR ★ native species/cultivars

SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
WF	★ <i>Waterhousia floribunda</i>	4	200ltr	10m+	yes	Weeping Lilly Pilly
HF	★ <i>Howea forsteriana</i>	3	100ltr	7m+	yes	Kentia Palm
AI	★ <i>Alcantarea imperialis</i> 'Rubra'	8	5ltr	1.5m	no	Imperial Bromeliad
PR	★ <i>Philodendron</i> 'Rojo Congo'	15	5ltr	1m	no	Rojo Congo Philodendron
PX	★ <i>Philodendron</i> 'Xanadu'	26	5ltr	0.7m	no	Dwarf Philodendron
PL	★ <i>Philodendron</i> 'Little Phil'	66	150mm	0.3m	no	Little Phil Philodendron

## SAMPLE GREEN WALL SPECIES PALETTE

COMMON NAME	
Alteranthera 'Little Ruby'	Little Ruby
Carpobrotus glaucescens	Pigface
Crassula sp. various	Jade Plant
Echeveria sp. various	Hen & Chicks
Festuca glauca	Blue Fescua
Liriope sp. various	Turf Lily
Lomandra sp. various	Mat Rush
Nandina sp. various	Nandina
Ophiopogon sp various	Mondo Grass
Sedum sp. various	Stonecrop
Senecio serpens	Blue Chalk Sticks

## PLANT SCHEDULE - LEVEL 1 ★ native species/cultivars

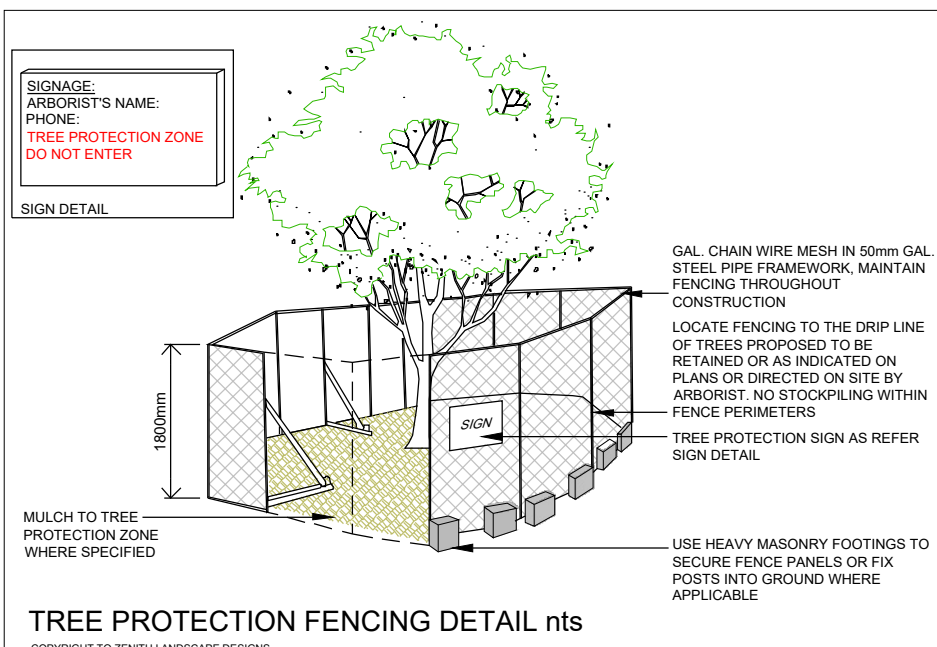
SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
LR	★ <i>Licuala ramsayi</i>	5	200ltr	10m+	yes	Australian Fan Palm
ZG	★ <i>Zelkova</i> 'Green Vase'	1	200ltr	10m+	yes	Japanese Elm
BC	★ <i>Baccharis citriodora</i>	7	25ltr	8m+	no	Lemon Scented Myrtle
AR	★ <i>Archontophoenix</i> sp. multi-trunked	3	200ltr	7m+	yes	Bangalow Palm
HF	★ <i>Howea forsteriana</i>	9	100ltr	7m+	yes	Kentia Palm
PS	★ <i>Pyrus</i> 'Southwest Dancer'	6	200ltr	7m+	yes	Ornamental Pear
EE	★ <i>Elaeocarpus eumundi</i>	15	75ltr	6m+	no	Quandong
AS	★ <i>Asplenium</i> 'Sublime'	7	45ltr	5m+	no	Sublime Lilly Pilly
MS	★ <i>Magnolia</i> 'Sweet Spire'	14	25ltr	3m	no	Dwarf Magnolia
RE	★ <i>Rhapis excelsa</i>	16	25ltr	2.5m	no	Slender Lady Palm
SC	★ <i>Syzygium</i> 'Cascade'	17	25ltr	2.5m	no	Weeping Lilly Pilly
BS	★ <i>Blechnum</i> 'Silver Lady'	29	5ltr	1.2m	no	Silver Lady Fern
CR	★ <i>Cycas revoluta</i>	63	10ltr	1.2m	no	Sago Palm
AA	★ <i>Asplenium australasicum</i>	12	5ltr	1m	no	Birds Nest Fern
BM	★ <i>Buxus microphylla</i> 'Japonica'	77	5ltr	0.8m	no	Japanese Box
PX	★ <i>Philodendron</i> 'Xanadu'	165	5ltr	0.7m	no	Dwarf Philodendron
OE	★ <i>Dianella</i> 'Emerald Arch'	74	150mm	0.5m	no	Flax Lily
OR	★ <i>Dichondra repens</i>	84	150mm	g/cover	no	Native Kidney Plant
DS	★ <i>Dichondra</i> 'Silver Falls'	189	150mm	g/cover	no	Silver Dichondra
TP	★ <i>Tradescantia</i> 'Purple Knight'	102	150mm	g/cover	no	Purple Knight
TT	★ <i>Trachelospermum</i> 'Tricolor'	84	150mm	g/cover	no	Variegated Jasmine
VH	★ <i>Viola hederacea</i>	298	150mm	g/cover	no	Native Violet
CAN	★ <i>Cissus antarctica</i>	7	5ltr	climber	no	Kangaroo Vine
	Artificial Turf					

## PLANT SCHEDULE - LEVEL 4 ★ native species/cultivars

SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
AR	★ <i>Archontophoenix</i> sp. multi-trunked	3	25ltr	7m+	yes	Bangalow Palm
CA	★ <i>Cupaniopsis anacardioides</i>	3	25ltr	6m+	yes	Tuckeroo
HT	★ <i>Hibiscus</i> 'tiliaceus' 'Rubra'	6	45ltr	5m	no	Red Cottonwood
LB	★ <i>Laurus nobilis</i> 'Baby Bay'	1	5ltr	2m	no	Dwarf Bay Tree
AM	★ <i>Acmena</i> 'Minipilly'	39	5ltr	1.5m	no	Dwarf Lilly Pilly
CBF	★ <i>Callistemon</i> 'Great Balls of Fire'	25	5ltr	1.5m	no	Dwarf Callistemon
DJ	★ <i>Dracena</i> 'Janet Craig compacta'	15	5ltr	1.5m	no	Happy Plant
CAL	★ <i>Correa alba</i>	37	150mm	1m	no	Coastal Correa
RC	★ <i>Rosmarinus</i> 'Chefs Choice'	2	5ltr	1m	no	Rosemary
HG	★ <i>Hymenosporum</i> 'Gold Nugget'	49	5ltr	0.7m	no	Dwarf Native Frangipani
NO	★ <i>Nandina</i> 'Obsession'	13	150mm	0.7m	no	Obsession Nandina
PN	★ <i>Pennisetum</i> 'Nafray'	27	150mm	0.7m	no	Native Foxtails
DE	★ <i>Dianella</i> 'Emerald Arch'	54	150mm	0.5m	no	Flax Lily
LT	★ <i>Lomandra longifolia</i> 'Tanika'	32	150mm	0.5m	no	Dwarf Mat Rush
ZZ	★ <i>Zamioculcus</i> 'Zanzibar Gem'	7	150mm	0.4m	no	Zanzibar Gem
CAP	★ <i>Chryscephalum apiculatum</i>	45	150mm	g/cover	no	Yellow Buttons
CG	★ <i>Casuarina</i> 'Cousin It'	45	150mm	g/cover	no	Prostrate She Oak
CG	★ <i>Carpobrotus glaucescens</i>	75	150mm	g/cover	no	Native Pigface
VH	★ <i>Viola hederacea</i>	32	150mm	g/cover	no	Native Violet
	Artificial Turf					

## PLANT SCHEDULE - LEVEL 16 ★ native species/cultivars

SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
BI	★ <i>Banksia integrifolia</i>	1	25ltr	8m+	yes	Coast Banksia
PA	★ <i>Plumeria acutifolia</i>	1	25ltr	4m+	no	Frangipani
CG	★ <i>Casuarina</i> 'Green Wave'	5	5ltr	2m	no	Green Wave She Oak
CAL	★ <i>Correa alba</i>	12	150mm	1m	no	Coastal Correa
CB	★ <i>Crassula</i> 'Bluebird'	7	150mm	0.9m	no	Bluebird Jade
LS	★ <i>Lomandra</i> 'Seascape'	10	150mm	0.6m	no	Weeping Mat Rush
LT	★ <i>Lomandra longifolia</i> 'Tanika'	22	150mm	0.5m	no	Dwarf Mat Rush
WL	★ <i>Westringia</i> 'Low Horizon'	10	150mm	0.3m	no	Dwarf Westringia
CAP	★ <i>Chryscephalum apiculatum</i>	10	150mm	g/cover	no	Yellow Buttons
CG	★ <i>Casuarina</i> 'Cousin It'	6	150mm	g/cover	no	Prostrate She Oak
CG	★ <i>Carpobrotus glaucescens</i>	46	150mm	g/cover	no	Native Pigface



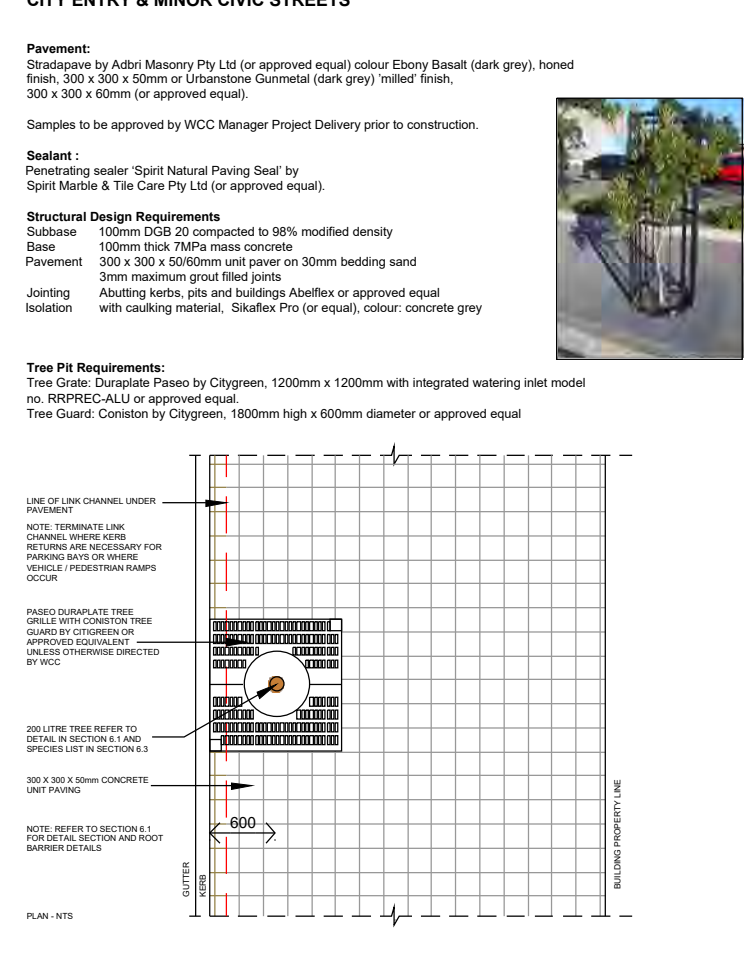
## LANDSCAPE GUIDELINES

- GENERAL**
  - 1.1 The Contractor shall familiarise themselves with the site prior to tender.
  - 1.2 The Contractor will be held responsible for any damage to utility services, pipes, building structures, paving surfaces, fencing, footways, kerbs, roads and existing plant material.
  - 1.3 The site is to be left in a clean and tidy condition at the completion of works to the satisfaction of the Superintendent.
  - 1.4 No work involving an extra shall be undertaken unless approval is first obtained from the Superintendent.
  - 1.5 No substitute of material shall be made unless approval is given by the Superintendent.
  - 1.6 The Contractor shall continuously maintain all areas of the Contract during progress of the works specified.
- SITE PREPARATION**
  - 2.1 Prepared sub-grade is to be free of stones larger than 100mm diameter, cement, rubbish and any other foreign matter that could hinder plant growth.
- MASS PLANTED AREAS**
  - 3.1 Once clear of weed growth, grass and debris, sub-grade should be cultivated to a minimum depth of 150mm incorporating 'Dynamic Lifter' or equivalent at the manufacturers recommended rates.
  - 3.2 Weeds shall be controlled by a combination of chemical and hand removal techniques.
- PLANTING**
  - 4.1 All plant material is to be hardened off, disease and insect free and true to species, type and variety. Plants are to be well grown but not root bound and shall comply with NatSpec - "Guide to Purchasing Landscape Trees", AS 2303 - 2018, Tree Stock for Landscape use and NATSPEC Specifying Trees: a guide to assessment of tree quality (2003).
  - 4.2 All plants are to be removed from their containers prior to planting with as little disturbance to the root system as possible.
  - 4.3 Planting shall not be carried out in dry soil or extreme weather conditions.
  - 4.4 Plants should be planted at the same depth as the plants were in the containers and allow for a shallow saucer of soil to be formed around the plant to aid the penetration of water.
  - 4.5 All plant material should be watered thoroughly immediately after planting.
  - 4.6 The Contractor shall be responsible for the failure of plants during construction, except for acts of vandalism.
  - 4.7 Labels shall be removed entirely from the plants.
- STAKING**
  - 5.1 Trees should be firmly attached to the stakes, in a way to avoid damage to the stem while allowing a small degree of movement.
- TURF AREAS**
  - 6.1 Turf areas should be cultivated before turfing by ripping or harrowing.
  - 6.2 At the completion of turfing the whole area shall be thoroughly soaked and kept moist till the completion of landscape works.
- MULCH**
  - 7.1 All imported Composts, Soil conditioners and Mulches to meet AS 4544.
  - 7.2 Mulch for all general mass planted beds shall be 'Droughtmaster' mulch as supplied by A.N.L. or similar.
  - 7.3 Mulch for OSD basin garden beds shall be 20mm Nepean River Gravel or similar laid to a minimum 50mm depth.
- SOIL MIXES**
  - 8.1 All imported soil to meet AS4119 Soils for Landscaping and Garden Uses
  - 8.2 Soil mix for mass planted areas shall be 5 parts site soil to 1 part 'Organic Garden Mix' as supplied by A.N.L. or equivalent.
  - 8.3 Soil mix for street tree planting shall be 1 part site soil to 1 part 'Organic Garden Mix' as supplied by A.N.L. or equivalent.
  - 8.4 Soil mix for planter boxes and planting over slab shall be 'Planter Box Mix' as supplied by A.N.L. or equivalent.
- FEATURE PEBBLES**
  - 9.1 Feature pebbles shall be 20mm Nepean River Gravel or similar laid to a minimum 50mm depth.
- DECOMPOSED GRANITE**
  - 10.1 Decomposed Granite shall be max 5mm Decomposed Granite Gold as supplied by A.N.L. or similar spread to a depth of 100mm allowing 25% compaction and stabilised with 5% off-white cement

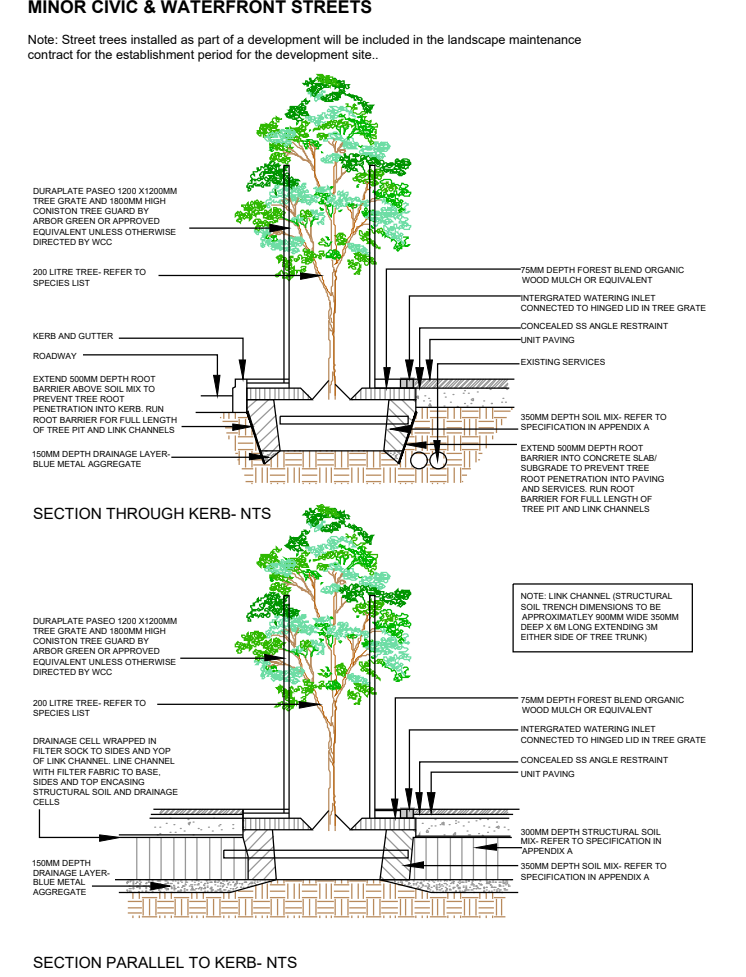
## MAINTENANCE

1. These works shall be in addition to the construction contract.
2. The Contractor shall commence and fully implement the short term maintenance after Practical Completion has been confirmed by the Superintendent.
3. The Contractor shall carry out maintenance works for a minimum period of 26 weeks
4. Maintenance works shall include the following works:
  - a. Mow lawns and trim edges each 10 days in summer and each 14 days in winter.
  - b. Water all planting and lawn areas in order to ensure adequate soil moisture at all times.
  - c. Remove any weed growth from all planting areas.
  - d. Spray and control pests and diseases as required.
  - e. Replace plants which fail with plants of similar size and quality as originally planted.
  - f. Adjust ties to trees as necessary.
  - g. Make good any erosion or soil subsidence which may occur.
  - h. Maintain all mulched areas in a clean and tidy condition to the depth as originally specified.
  - i. Make good any defects or faults arising from defective workmanship.
5. Advanced trees shall be individually inspected at least once a month in order to determine their health and vigour. Should the trees exhibit any signs of disease, pest infestation or poor growth then a qualified arborist shall be consulted within 14 days in order to determine the most appropriate course of action. Recommended treatment shall then be commenced within 7 days and plant continue until the problem is eliminated.
6. When the maintenance period is completed the Contractor shall notify the Superintendent. The site shall then be inspected and if to the satisfaction of the Superintendent the responsibility will be handed over to the Client for on-going maintenance.

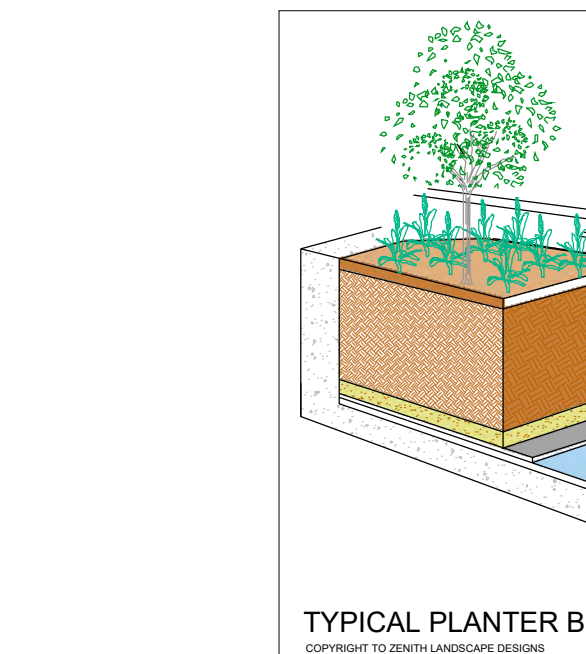
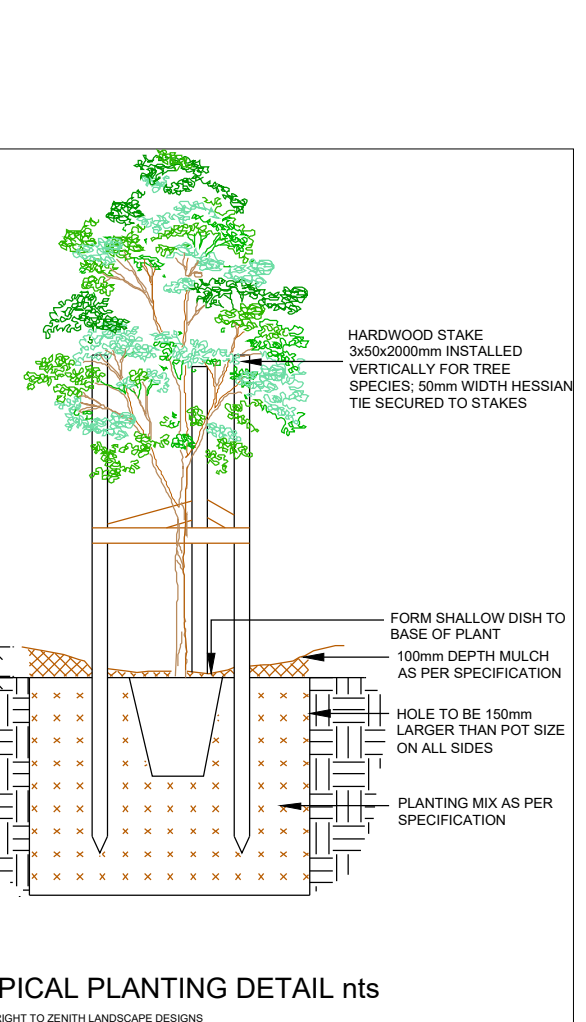
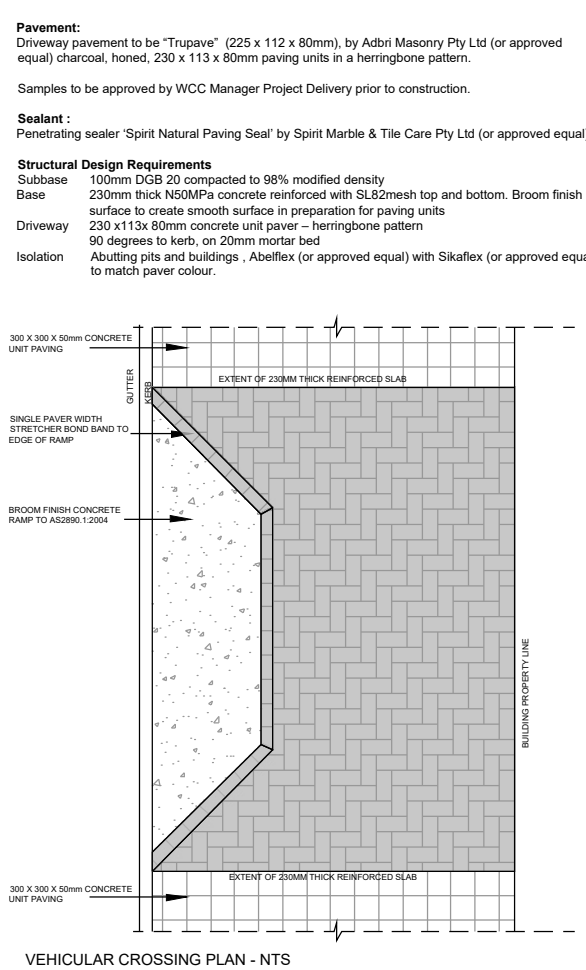
## 2.2 FOOTWAY PAVEMENTS - CITY ENTRY &amp; MINOR CIVIC STREETS



## 6.1 TREE PLANTING IN FOOTWAYS-CORE, CIVIC, CITY ENTRY, MINOR CIVIC &amp; WATERFRONT STREETS



## 3.2 CROSSING - CITY ENTRY &amp; MINOR CIVIC STREETS



## Legend

- Proposed basement line
- Existing trees to be retained
- Existing trees to be removed

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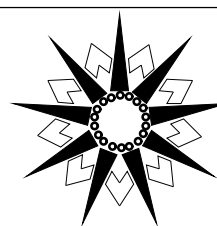
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	B	REVISED ARCHITECTURAL DESIGN	27.02.2024				HYDRAULIC: ATB CONSULTING ENGINEERS
	C	REVISED STORMWATER DESIGN	11.06.2024				ARCHITECT: DWA
							Ph: 9545 5200 info@zenithlandscapes.com.au

ZENITH  
LANDSCAPE DESIGNS22-30 KENNY STREET  
WOLLONGONG

TITLE: LANDSCAPE PLAN	SCALES: AS SPEC.
STATUS: DA	SHEET 5 OF 5
CHECKED: MFG	DRAWING No.
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DATE: 14.09.2023	23-4939 LO5



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A	<b>GENERAL</b> G1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CURRENT SAA CODES AND THE BYLAWS, ORDINANCE OR OTHER REQUIREMENTS OF THE RELEVANT BUILDING AUTHORITIES.			<b>STORMWATER DRAINAGE GENERAL:</b> 1. DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT AND ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK.			<b>STORMWATER DRAINAGE NOTES:</b> 1. STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3 , NCC AND COUNCIL'S SPECIFICATION. 2. MINIMUM PIT DIMENSIONS ARE TO BE IN ACCORDANCE WITH AS3500.3 TABLE 7.5.2.1 WHICH PROVIDES GUIDANCE ACCORDING TO PIT DEPTH U.N.O.			<b>EARTHWORKS</b> 1. ALL EARTHWORKS ARE TO BE PERFORMED TO LEVEL 1 CLASSIFICATION IN ACCORDANCE WITH AS 3798 – "GUIDELINES ON EARTHWORKS FOR COMMERCIAL, RESIDENTIAL DEVELOPMENTS". 2. ALL WORKS TO BE CONDUCTED TO THE REQUIREMENTS OF THE WOLLONGONG CITY COUNCIL SUBDIVISION POLICY. 3. EXCAVATIONS GREATER THAT 1.5m IN DEPTH SHALL BE BENCHED AT 1.5m INTERVALS IN HEIGHT & PROTECTED BY SAFETY FENCE ABOVE. 4. NO SITE RE–GARDING WORKS ARE TO BE UNDERTAKEN UNTIL EROSION & SEDIMENT CONTROL DEVICES HAVE BEEN ERECTED OR CONSTRUCTED TO THE SATISFACTION OF THE SUPERINTENDENT. 5. PROVIDE PROTECTION BARRIERS TO PROTECTED/ SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION 6. OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS ETC, AND STRIP TOP SOIL.AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE–USE. 7. STRIP AVERAGE 500mm EXISTING UNCONTROLLED FILL IN BUILDING AREAS. STRIP AVERAGE 1000mm UNCONTROLLED FILL UNDER ROADS & SLABS ON GRADE. 8. CUT & FILL OVER THE SITE TO LEVELS REQUIRED. BENCH AS NECESSARY. 9. ALL DISTURBED AREAS INCLUDING BATTERS TABLE DRAINS AND FOOTPATH AREAS ARE TO BE TOP SOILED FERTILIZED AND SEEDED TO THE SATISFACTION OF COUNCIL'S SUBDIVISION AND DEVELOPMENT ENGINEER. 10. 11. STOCKPILE EXCAVATION MATERIAL FOR RE–USE. GEOTECHNICAL ENGINEER TO APPROVE. 12. PRIOR TO ANY FILLING IN AREAS OF CUT OR EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MIN. WEIGHT OF 5 TONES WITH A MIN. OF 10 PASSES 13. EXCAVATE & REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING & REPLACE WITH APPROVED FILL COMPACTED IN LAYERS.THE WHOLE OF THE EXPOSED SUB–GRADE & FILL SHALL BE COMPACTED TO 98% STANDARD MAX. DRY DENSITY AT OPTIMUM MOISTURE CONTENT ±2%. 14. FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL & PRIOR TO COMMENCING OPERATIONS. 15. WHERE HARD ROCK IS EXPOSED IN SUB–GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN. 16. FILL IN 200mm MAX. (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASE COURSE USING THE EXCAVATION MATERIAL & COMPACTED TO REQUIRED STANDARD (AS 1289 S.1.1). MAX. DRY DENSITY AT OPTIMUM MOISTURE CONTENT ±2% SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS. IMPORT NECESSARY CLEAN GRANULAR FILL TO GEOTECHNICAL ENGINEER APPROVAL 17. USE EXCAVATION MATERIAL IN LOWER LEVELS & UNDER BUILDINGS. USE IMPORTED MATERIAL IN UPPER LEVELS & UNDER ROAD & CAR PARK AREAS. 18. FOR COMPACTION REQUIREMENTS REFER TO ATTACHED DRAWINGS. 19. ALL TESTING WORKS SHALL BE UNDERTAKEN & CERTIFIED BY A NATA REGISTERED LABORATORY. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE SUPERINTENDENT. 20. BATTERS TO BE AS SHOWN OR MAX 1 VERTICAL: 4 HORIZONTAL ALL CONDUITS & MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT. 21. ALL BATTERS & FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM & SEEDED UNLESS OTHERWISE SPECIFIED. 22. REFER TO GEOTECHNICAL ENGINEERS REPORT TO ASSESS ALL CUTTING & FILLING ONSITE.			<b>BELOW GROUND OSD TANKS</b> THE HYDRAULIC CONTROL FOR THE STORAGE (USUALLY ORIFICE PLATE) SHALL BE FIRMLY FIXED IN PLACE TO PREVENT REMOVAL OR TAMPERING. A PLATE OF 3mm TO 5mm THICK STAINLESS STEEL WITH A CIRCULAR HOLE SHALL BE USED, PROVIDED: i) IT IS MACHINED TO 0.5mm ACCURACY ii) IT RETAINS A SHARP EDGE; AND iii) THE ORIFICE DIAMETER IS NOT LESS THAN 25mm (AS 3500.3 CLAUSE 7.10.2. 1. INSPECTION / ACCESS OPENINGS SHALL BE PROVIDED ABOVE THE LOCATION OF THE OUTLET WITH DIMENSIONS AT LEAST 600mm x 600mm OR 600mm DIAMETER FOR STORAGES UP TO 800mm DEEP AND 900mm x 900mm FOR DEEPER STORAGES. THERE SHALL BE NO IMPEDIMENTS TO THE REMOVAL OF DEBRIS THROUGH THIS OPENING. INSPECTION SHALL BE POSSIBLE WITHOUT RESIDENTS OR OWNERS HAVING TO REMOVE HEAVY ACCESS COVERS (AS3500.3 CLAUSE 7.10.2.b.ii) 2. WHERE STORAGES ARE NOT DEEP ENOUGH TO WORK IN (<1.5m DEEP), ACCESS SHALL BE PROVIDED AT INTERVALS OF APPROXIMATELY 10m TO ALLOW THE SYSTEM TO BE FLUSHED TO THE STORAGE OUTLET> ACCESS SHALL BE PROVIDED AT THE OUTLET (AS3500.3 CLAUSE 7.10.2.b.iii) 3. A SUMP SHALL BE PROVIDED AT THE OUTLET POINT, SET BELOW THE LEVEL OF THE MAIN STORAGE TO COLLECT DEBRIS. WHERE A DISCHARGE CONTROL PIT IS INCLUDED IN THE STORAGE> THIS SHALL CONTAIN A SUMP SET A MINIMUM OF 1.5 TIMES THE DIAMETER OF THE ORIFICE OF THE ORIFICE OF THE OUTLET BELOW THE CENTRE OF THE ORIFICE. SUMPS SHALL BE PROVIDED WITH WEEP HOLES TO DRAIN OUT TO THE SURROUNDING SOIL, AND SHALL BE FOUND ON A COMPACTED GRANULAR BASE. 4. WHERE THE DEPTH OF THE TANK EXCEEDS 1.2m, A LADDER IN ACCORDANCE WITH AS3500.3 CLAUSE 7.5.5.4 SHALL BE INSTALLED. 5. BELOW GROUND OSD SYSTEMS SHALL CONFORM WITH AS2865. 6. IN ACCORDANCE WITH AS3500.3 CLAUSE 7.10.2.D SCREENS (TRASH RACKS) WITH THE FOLLOWING CHARACTERISTICS SHOULD BE PROVIDED TO COVER EACH ORIFICE OUTLET: a. FOR ORIFICES UP TO 150mm DIA., A FINE APERTURE–EXPANDED METAL MESH SCREEN WITH A MINIMUM AREA OF 50 TIMES THE AREA OF THE ORIFICE. FOR LARGER DIA. ORIFICES, A COARSER GRID MESH WITH A MINIMUM AREA OF 20 TIMES THE ORIFICE AREA MAY BE USED AS AN ALTERNATIVE. b. STEEL SCREENS SHOULD BE STAINLESS STEEL OR HOT–DIP GALVANIZED c. WHERE APERTURE–EXPANDED MESH SCREENS ARE EMPLOYED, THEY SHOULD BE POSITIONED SO THAT THE OVAL–SHAPED HOLES ARE HORIZONTAL, WITH THE PROTRUDING IJ ANGLED UPWARDS AND FACING DOWNSTREAM. A HANDLE MAY BE FITTED TO ENSURE CORRECT ORIENTATION AND EASY REMOVAL FOR MAINTENANCE. d. SCREENS SHOULD BE PLACED NO FLATTER THAN 45 DEGREES TO THE HORIZONTAL IN SHALLOW STORAGES UP TO 600mm DEEP. IN DEEPER OR MORE REMOTE LOCATIONS, THE MINIMUM ANGLE SHOULD BE 60 DEGREES TO THE HORIZONTAL. 8. IF THE BELOW GROUND OSD STORAGE IS SEALED, A VENT SHOULD BE PROVIDED TO EXPEL ANY NOXIOUS GASES (AS3500.3 CLAUSE 7.10.2.D.B). 9. THE STORAGE SHOULD BE DESIGNED TO FILL WITHOUT CAUSING OVERFLOWS IN UPSTREAM CONDUITS DUE TO BACKWATER EFFECTS (AS3500.3 CLAUSE 7.10.2.D.C).																																																																																												
	G2. DO NOT OBTAIN DIMENSIONS BY SCALING THESE DRAWINGS. ONLY PRINCIPAL STRUCTURAL DIMENSIONS ARE SHOWN. ALL DIMENSIONS ARE IN MILLIMETERS.			2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM DRAWINGS. REFER TO ARCHITECTS' FINAL DRAWINGS.			<b>TABLE 7.5.2.1 MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS</b> <table><tr><th rowspan="3">Depth to invert of outlet</th><th colspan="3">Minimum internal dimensions mm</th></tr><tr><th colspan="2">Rectangular</th><th>Circular</th></tr><tr><th>Width</th><th>Length</th><th>Diameter</th></tr><tr><td>≤450</td><td>350</td><td>350</td><td>—</td></tr><tr><td>≤600</td><td>450</td><td>450</td><td>600</td></tr><tr><td>&gt;600 ≤900</td><td>600</td><td>600</td><td>900</td></tr><tr><td>&gt;900 ≤1200</td><td>600</td><td>900</td><td>1000</td></tr><tr><td>&gt;1200</td><td>900</td><td>900</td><td>1000</td></tr></table>			Depth to invert of outlet	Minimum internal dimensions mm			Rectangular		Circular	Width	Length	Diameter	≤450	350	350	—	≤600	450	450	600	>600 ≤900	600	600	900	>900 ≤1200	600	900	1000	>1200	900	900	1000	<b>PIPES COVER TABLE</b> <table><tr><th>LOCATION</th><th>PIPE TYPE</th><th>COVER</th></tr><tr><td>LANDSCAPE</td><td>PVC</td><td>300</td></tr><tr><td>UNDER TRAFFICABLE AREA</td><td>PVC</td><td>100 BELOW UNDERSIDE OF PAVEMENT</td></tr><tr><td>CONCRETE</td><td>STEEL</td><td>NIL BELOW UNDERSIDE OF PAVEMENT</td></tr><tr><td>ROADS</td><td>RCP</td><td>500 BELOW UNDERSIDE OF PAVEMENT</td></tr></table>			LOCATION	PIPE TYPE	COVER	LANDSCAPE	PVC	300	UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDERSIDE OF PAVEMENT	CONCRETE	STEEL	NIL BELOW UNDERSIDE OF PAVEMENT	ROADS	RCP	500 BELOW UNDERSIDE OF PAVEMENT																																																
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G5. WORKS SHALL NOT COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES.			5. PREPARE PROGRESSIVELY AND FURNISH TO THE ENGINEER WORK AS EXECUTED DRAWINGS OF THE SAME SIZE AND QUALITY AS THIS DRAWING BUT ACCORDANCE WITH DA CONDITIONS & CC REQUIREMENTS						<b>ON-SITE DETENTION</b> 1. ON–SITE DETENTION (OSD) TANKS ARE TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS INCLUDING AS3500.3 , NCC AND COUNCILS' SPECIFICATIONS. 2. IT IS CRITICAL THAT THE MINIMUM OSD VOLUME AS CALCULATED BY THE DESIGN AND NOTED ON THESE PLANS IS ACHIEVED ON SITE. VOLUMES TO BE VERIFIED BE REGISTERED SURVEYOR AND NOTED IN THE WAE SURVEY PRIOR TO CERTIFICATION. 3. OSD VOLUME MAY BE ACHIEVED IN BELOW GROUND TANK, OR ABOVE GROUND PONDING, OR RAINWATER TANK OFFSET, OR INFILTRATION/ ABSORPTION SYSTEM. EACH COUNCIL HAS SPECIFIC GUIDELINES FOR HOW STORMWATER FLOWS ARE TO BE CONTROLLED AND DISCHARGED. 4. PONDING AND OVERFLOW LEVELS FROM THE OSD SHALL BE NOT LESS THAN 300mm BELOW ADJACENT HABITABLE FLOOR LEVELS OF BUILDINGS AND NOT LESS THAN 150mm BELOW NON–HABITABLE FLOOR LEVELS (AS3500.1 CLAUSE 7.10.1)																																																																																																
B	G6.DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION. DO NOT EXCEED THE DESIGN LIVE LOADS SHOWN OR CAUSE ANY ELEMENT TO BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.			6. SUFFICIENT NOTICE SHALL BE GIVEN TO ALLOW INSPECTIONS TO BE CARRIED OUT AT THE FOLLOWING STAGES:  WORK READY FOR SPECIFIED TESTING WORK READY TO BE COVERED OR CONCEALED						<b>CONCEPT DESIGN</b> NOT TO BE USED FOR CONSTRUCTION PURPOSES																																																																																															
	G7. THE BUILDER SHALL GIVE 48 HOURS NOTICE FOR ALL ENGINEERING INSPECTIONS.			7. OBTAIN APPROVAL BEFORE INTERRUPTING AN EXISTING SERVICE. KEEP THE NUMBER OF INTERRUPTIONS TO A MINIMUM																																																																																																					
	G8. ALL SITE RE–GRADING AREAS SHALL BE FINALLY GRADED TO THE SATISFACTION OF THE ENGINEER.			8. LAY PIPES TO THE LEVELS SHOWN ON THE DRAWINGS AND IN ANY CASE NOT LESS THAN THE FOLLOWING: 100 ∅ @ 1.0% , 150 ∅ @ 1.0%, 225 ∅ @ 0.5%, 300 ∅ @ 0.5%																																																																																																					
	G9 SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.			9. ENDS OF PIPES AND STUB CONNECTIONS TO BE SEALED WITH AN APPROVED SEALED DISC.																																																																																																					
C	G10. ALL DRAINAGE LINES THROUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.			10. MILD STEEL STAR PICKET 1200mm LONG WITH 300mm PAINTED GREEN EXTENDED ABOVE GROUND LEVEL TO BE PLACED AT EACH INTERLOTTMET DRAINAGE CONNECTION POINT.						<b>CONCEPT DESIGN</b> NOT TO BE USED FOR CONSTRUCTION PURPOSES																																																																																															
	G11. THE METHOD OF CONSTRUCTION AND THE MAINTENANCE OF SAFETY DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE BUILDER. IF ANY STRUCTURAL ELEMENT PRESENTS DIFFICULTY IN RESPECT OF CONSTRUCTIBILITY OR SAFETY, THE MATTER SHALL BE REFERRED TO THE STRUCTURAL ENGINEER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.			11. GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION.																																																																																																					
	G12. IF THERE IS A DISCREPANCY IN MEMBER SIZES FOR ANY COMPONENT, ASSUME FOR PRICING PURPOSES ONLY THAT THE LARGER OR MORE EXPENSIVE SIZE IS CORRECT. REFER TO STRUCTURAL /CIVIL ENGINEER FOR DECISION BEFORE DETAILING OR CONSTRUCTION																																																																																																								
D	<b>SITE PREPARATION</b> SP1. STRIP OFF ALL VEGETATION, RUBBISH AND TOPSOIL CONTAINING ORGANIC OR ROOT MATTER FROM THE AREA OF THE CONSTRUCTION.			2. MAKE SMOOTH CONNECTION TO ALL EXISTING ENGINEERING WORK.						<b>CONCEPT DESIGN</b> NOT TO BE USED FOR CONSTRUCTION PURPOSES																																																																																															
	SP2 PROVIDE SUITABLE SURFACE AND/OR SUBSOIL DRAINAGE IN CONJUNCTION WITH, OR SUBSEQUENT TO BULK EARTHWORKS AS REQUIRED ON SITE, TO MINIMIZE INGRESS OF MOISTURE ADJACENT TO, OR BENEATH THE BUILDING.			3. ALL EXISTING SERVICES TO BE LOCATED AND LEVELED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.																																																																																																					
	SP3 FILL SHALL CONSIST OF MATERIAL COMPACTED TO 98% MAX. STD DRY DENSITY UNLESS NOTED OTHERWISE IN LAYERS BY REPEATED ROLLING WITH PROPRIETARY COMPACTION PLANT. ALL FILLING IS TO BE LAID IN 150mm MAXIMUM LAYERS.			4. ALL SERVICES AFFECTED BY NEW WORK, TO BE ADJUSTED TO SUIT IN THE FIELD, TO THE SATISFACTION OF THE RELEVANT SERVICE AUTHORITY.																																																																																																					
	SP4. DRAWINGS TO BE READ IN CONJUNCTION WITH THE SOIL GEOTECHNICAL REPORT BY THE GEOTECHNICAL ENGINEER IS TO APPROVE THE MATERIAL USED FOR FILLING AND IS TO SUPERVISE PLACING OF COMPACTED FILL. FILLING IS TO BE FREE OF RUBBISH, PLASTIC CLAY OR LARGE PIECES OF ROCK/BOULDER WHICH WOULD INHIBIT COMPACTION.			5. WHILE WORKING ON COUNCIL ROADS OR ROAD RESERVES, CONTRACTOR TO PROVIDE A TRAFFIC CONTROL PLAN WHICH COMPLIES WITH A.S. 1742.3–1996. A COPY OF THE PLAN SHOWING LAYOUT OF PROPOSED TRAFFIC CONTROL FOR THE COMMENCEMENT OF WORK AND CERTIFIED BY A SUITABLY QUALIFIED PERSON, IS TO BE SUBMITTED TO COUNCIL PRIOR TO THE COMMENCEMENT OF ANY WORK. FURTHER PLANS ARE TO BE SUBMITTED IF WORK SITE ALTERS.																																																																																																					
E	SP5. FOR ON–GROUND CONCRETE SLABS – BLIND WITH SAND UNDER VAPOUR–PROOF MEMBRANE BARRIER. VAPOUR BARRIER SHALL BE POLYETHYLENE SHEETING OF MIN. 0.2mm THICKNESS . LAPPING SHALL BE NOT LESS THAN 200mm AT JOINTS . PENETRATIONS BY PIPES SHALL BE TAPED.			6. ANY ROAD RESTORATION REQUIRED SHALL BE IN 300mm LAYERS OF DGS 40 FROM THE BOTTOM OF TRENCH OR TOP OF SAND OVERLAY OVER ANY PIPES, COMPACTED TO A MINIMUM OF 100% STANDARD COMPACTION, WITH THE FINAL LAYER OF 100mm DGS 20 COMPACTED TO A MINIMUM OF 100% STANDARD COMPACTION AND FINISHED LEVEL WITH EXISTING ROAD SURFACE.						<b>CONCEPT DESIGN</b> NOT TO BE USED FOR CONSTRUCTION PURPOSES																																																																																															
	SP6. BACKFILLING AND COMPACTION OF FILL SHALL BE CARRIED OUT SIMULTANEOUSLY ON EACH SIDE OF WALLS.			7. ALL DISTURBED SURFACES ARE TO BE REINSTATED TO AS NEARLY AS POSSIBLE TO THE PRE CONSTRUCTION CONDITION.																																																																																																					
	SP7. ALL FINISHED SURFACE LEVELS OF EARTHWORKS ARE TO GRADE AWAY FROM THE BUILDING & DIVERT RUNOFF INTO THE STORMWATER DRAINAGE SYSTEM IN ACCORDANCE WITH THE RELEVANT CONTRACT DRAWINGS.																																																																																																								
	SP8. ALL PAD FOOTING EXCAVATIONS ARE TO BE BACKFILLED UP TO FINISHED SURFACE LEVEL.																																																																																																								
F	<b>ENVIRONMENT</b> THE BUILDERS ATTENTION IS CALLED TO OBSERVE ANY COUNCIL, E1 EPA, OTHER AUTHORITY'S OR CONTRACT CONDITIONS IN COMPLYING WITH MANAGEMENT OF EXCAVATION, SOIL MOVEMENT, SEDIMENT CONTROL AND DUST SUPPRESSION.			<b>STORMWATER DRAINAGE CERTIFICATION:</b> 1. PROVIDE CERTIFICATION THAT THE WHOLE INSTALLATION MEETS THE STANDARDS REFERRED TO IN THESE SPECIFICATIONS AND THE REQUIREMENTS OF AUTHORITIES AS WELL AS THE SUPPLY UTILITY. 2. UPON COMPLETION OF DRAINAGE WORKS THE CONTRACTOR IS TO SUPPLY THE ENGINEER WITH WORK AS EXECUTED DRAWINGS CERTIFIED BY A REGISTERED SURVEYOR.						<b>CONCEPT DESIGN</b> NOT TO BE USED FOR CONSTRUCTION PURPOSES																																																																																															
G				SERVICES CONFLICT: IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK FOR ANY CONFLICT OF SERVICES IN THE FOOTPATH & VERIFY LEVELS OF THE EXISTING STORM WATER CONNECTION BEFORE ANY COMMENCEMENT OF WORK						<b>CONCEPT DESIGN</b> NOT TO BE USED FOR CONSTRUCTION PURPOSES																																																																																															





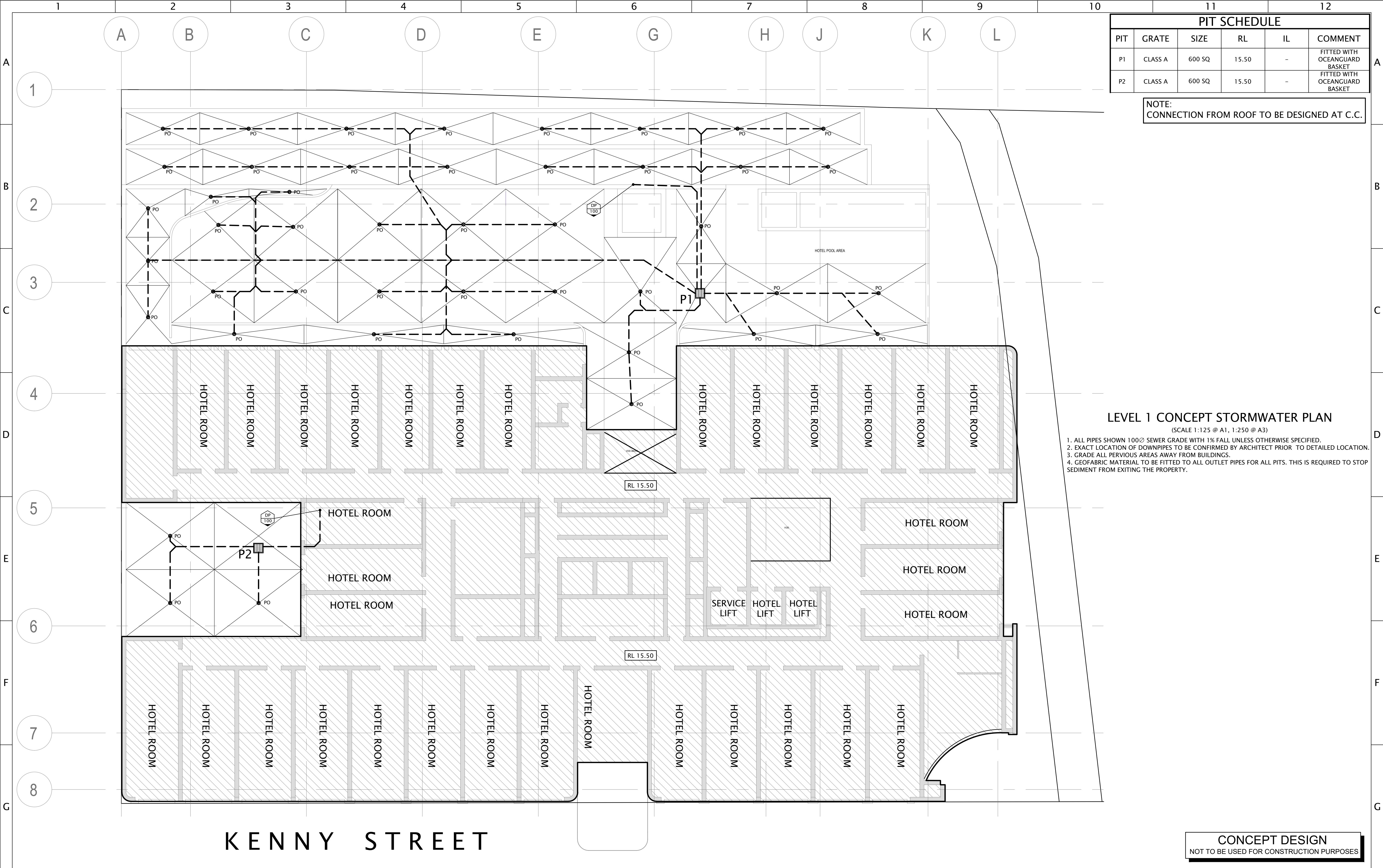












PIT SCHEDULE					
PIT	GRATE	SIZE	RL	IL	COMMENT
P1	CLASS A	600 SQ	15.50	-	FITTED WITH OCEANGUARD BASKET
P2	CLASS A	600 SQ	15.50	-	FITTED WITH OCEANGUARD BASKET

NOTE:  
CONNECTION FROM ROOF TO BE DESIGNED AT C.C.

LEVEL 1 CONCEPT STORMWATER PLAN

(SCALE 1:125 @ A1, 1:250 @ A3)

1. ALL PIPES SHOWN 100Ø SEWER GRADE WITH 1% FALL UNLESS OTHERWISE SPECIFIED.
2. EXACT LOCATION OF DOWNPIPES TO BE CONFIRMED BY ARCHITECT PRIOR TO DETAILED LOCATION.
3. GRADE ALL PVIOUS AREAS AWAY FROM BUILDINGS.
4. GEOFABRIC MATERIAL TO BE FITTED TO ALL OUTLET PIPES FOR ALL PITS. THIS IS REQUIRED TO STOP SEDIMENT FROM EXITING THE PROPERTY.

CONCEPT DESIGN

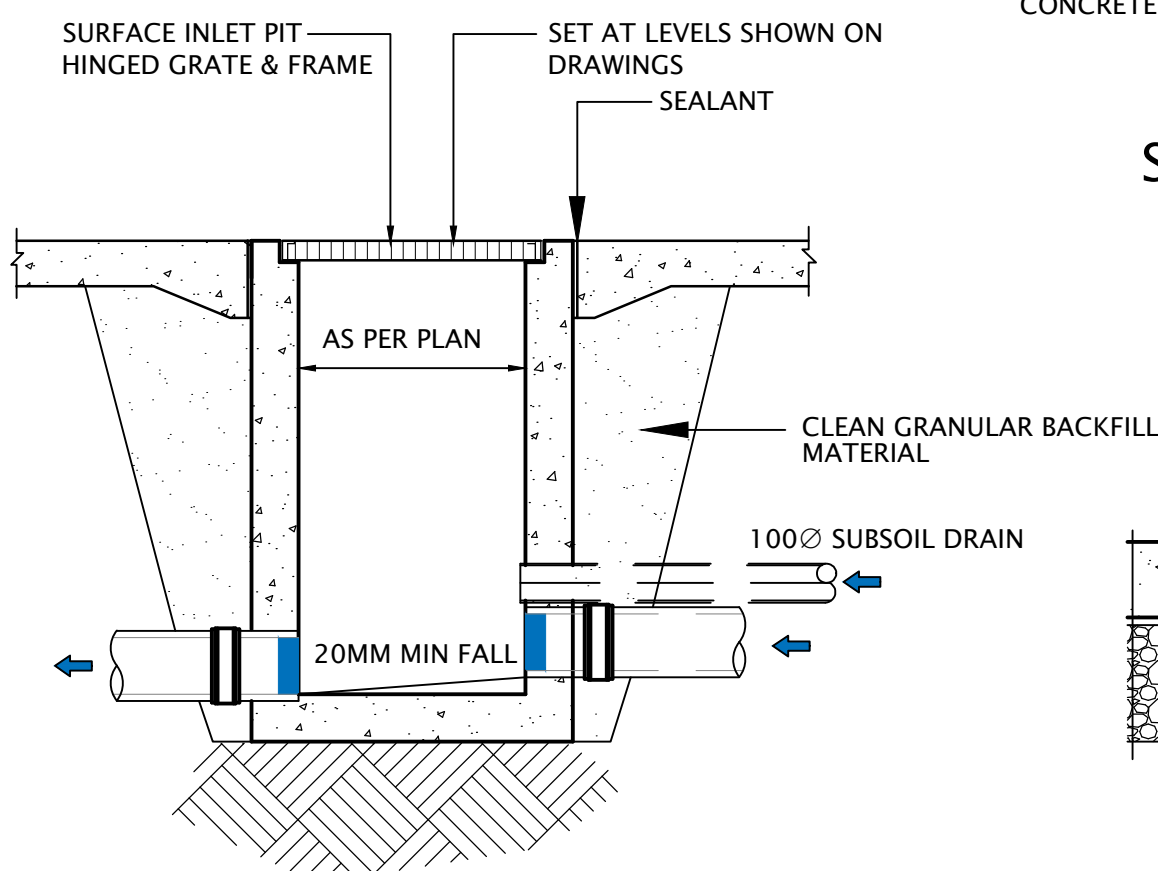
NOT TO BE USED FOR CONSTRUCTION PURPOSES

ISSUE		AMENDMENT	DATE	PLANS		11 VICTORIA STREET		Title		SCALES		AS SHOWN		DATE PLOTTED	
A	ISSUE FOR COORDINATION		18/09/23	0 1000 2000 3000 4000 5000		ATB		Project		DRAWN		M.V.		11/06/24	
B	ISSUE FOR DA APPLICATION		20/09/23			CONSULTING ENGINEERS		22-30 KENNY STREET		DESIGNED		G.U.		DATUM A.H.D.	
C	ISSUE FOR ADDITIONAL INFORMATION		27/02/24			CIVIL & STRUCTURAL		WOLLONGONG, NSW		CHECKED		G.U.		DATE CHK'D	
D	ISSUE FOR ADDITIONAL INFORMATION		11/06/24					Client				PROJECT No		23051	
												DWG		SW5	
														REVISION	
														D	





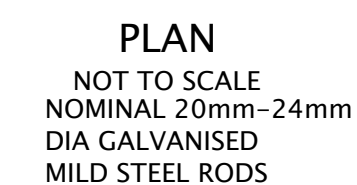




1. ALL PITS TO BE CONSTRUCTED WITH 25MPa CONCRETE AND REINFORCED WITH SL72 MESH CENTRALLY PLACED. MINIMUM COVER TO REINFORCEMENT AT PIPE PENETRATIONS TO BE 50mm.
2. GRATE & FRAME TO BE CLASS 'D' HOT DIP GALVANIZED MILD STEEL - WELDLK GC50D OR SIMILAR EQUIVALENT.
3. ALL FRAMES TO BE EMBEDDED INTO SURROUNDING CONCRETE AND FINISHED FLUSH WITH THE FINISH FLOOR LEVELS.
4. STEP IRONS TO BE USED WHERE DEPTH TO INVERT IS GREATER THEN 1.2m.
5. ALL EXPOSED EDGES TO BE ROUNDED TO 10mm RADIUS.
6. N12 "L" BARS (MIN. 400x400mm) TO BE PLACED AT 400 CENTRES ON ALL CORNERS (i.e WALLS AND BASES).



REFER TO STRUCTURAL DRAWINGS FOR  
DETAILS BEHIND RETAINING WALLS.

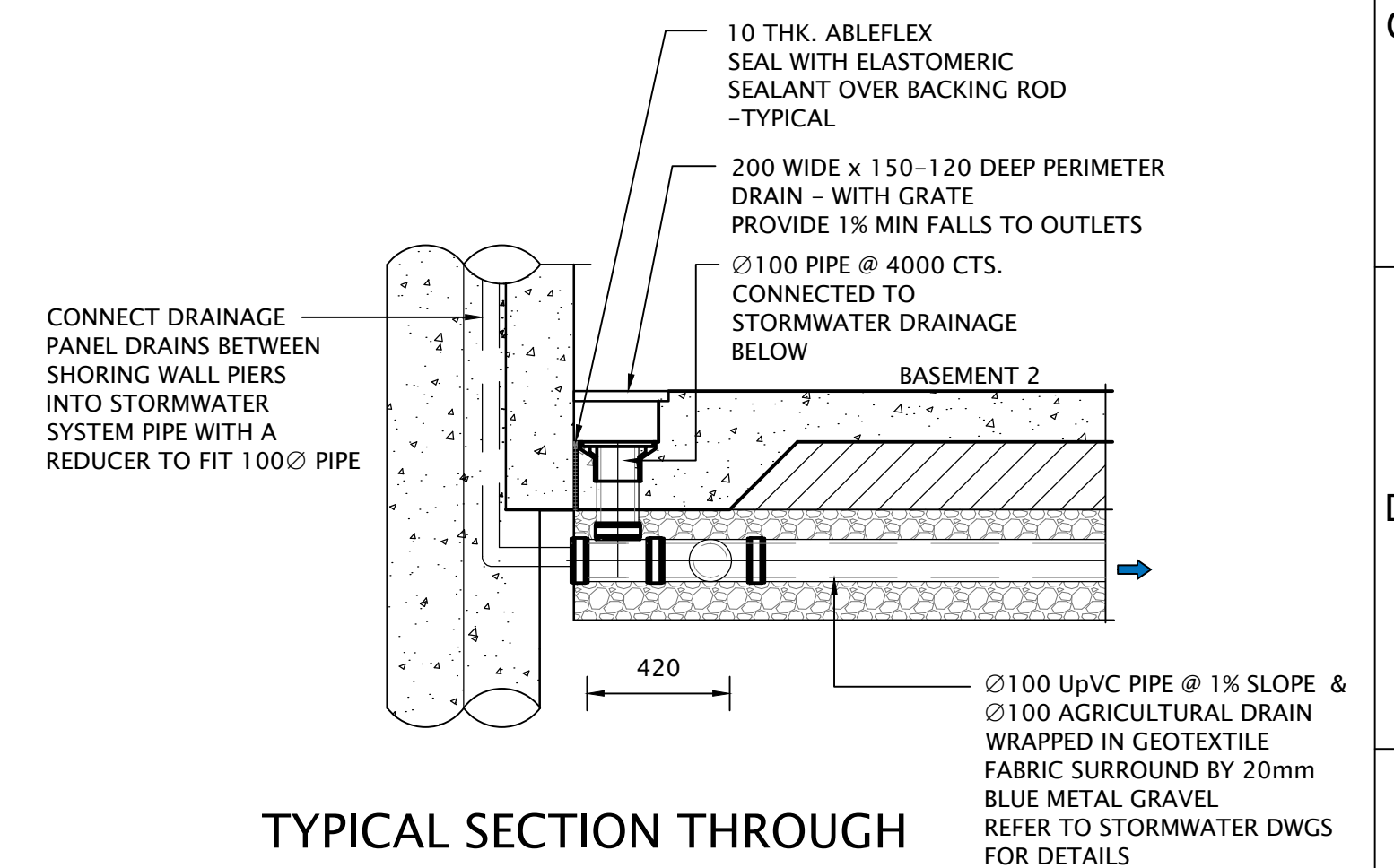


SIDE ELEVATION  
NOT TO SCALE



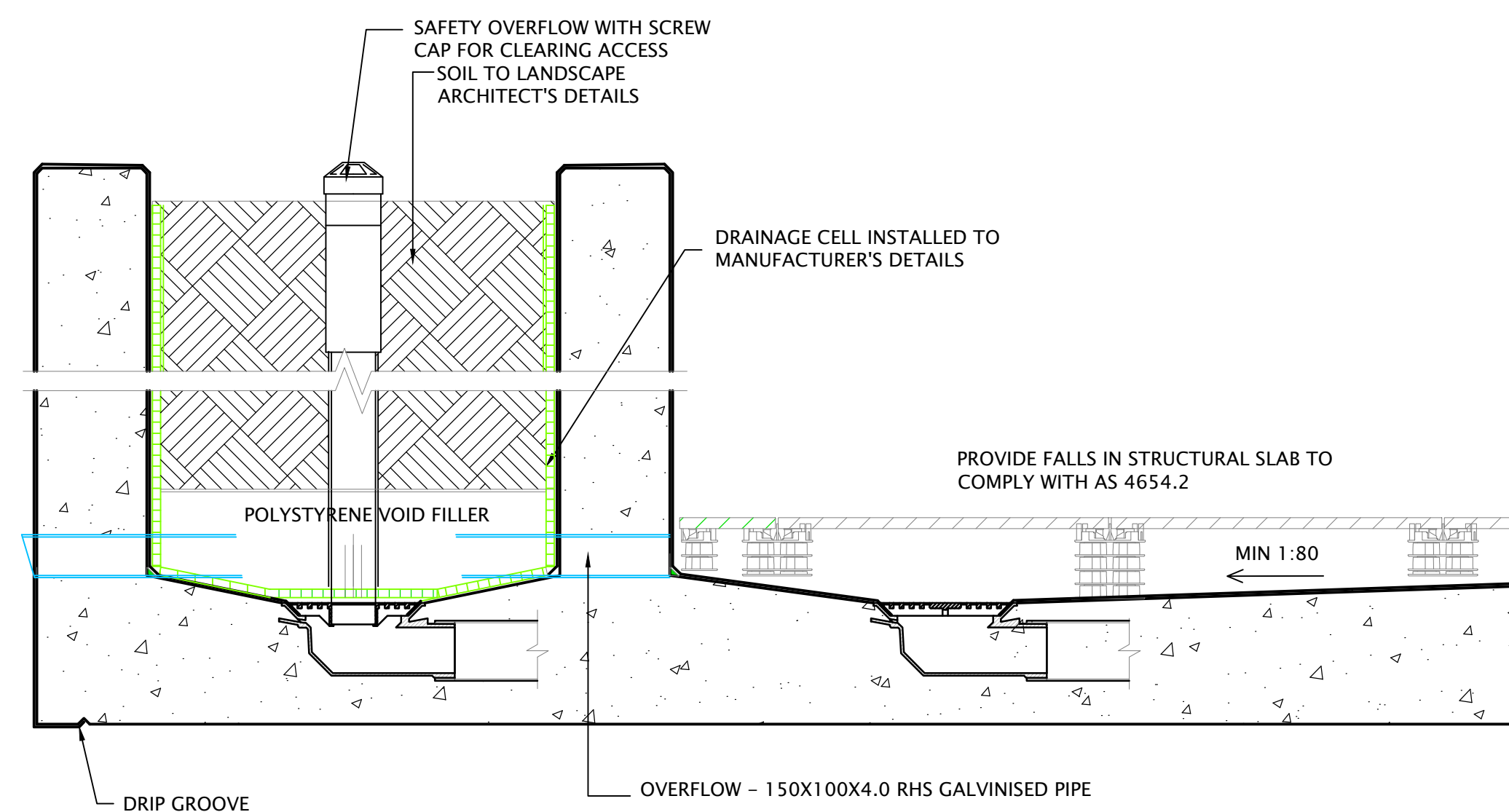
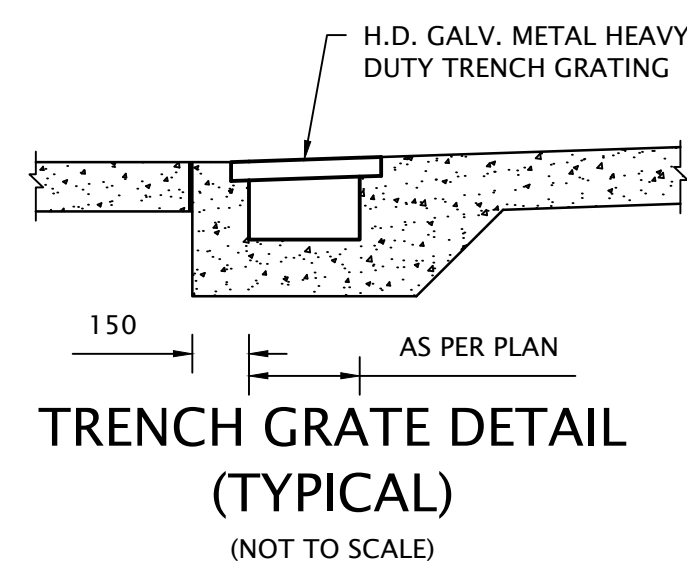
## TYPICAL STEP IRON DETAILS

NOTE:  
STEP IRONS TO BE INSTALLED IN PIT DEEPER THEN 1000mm

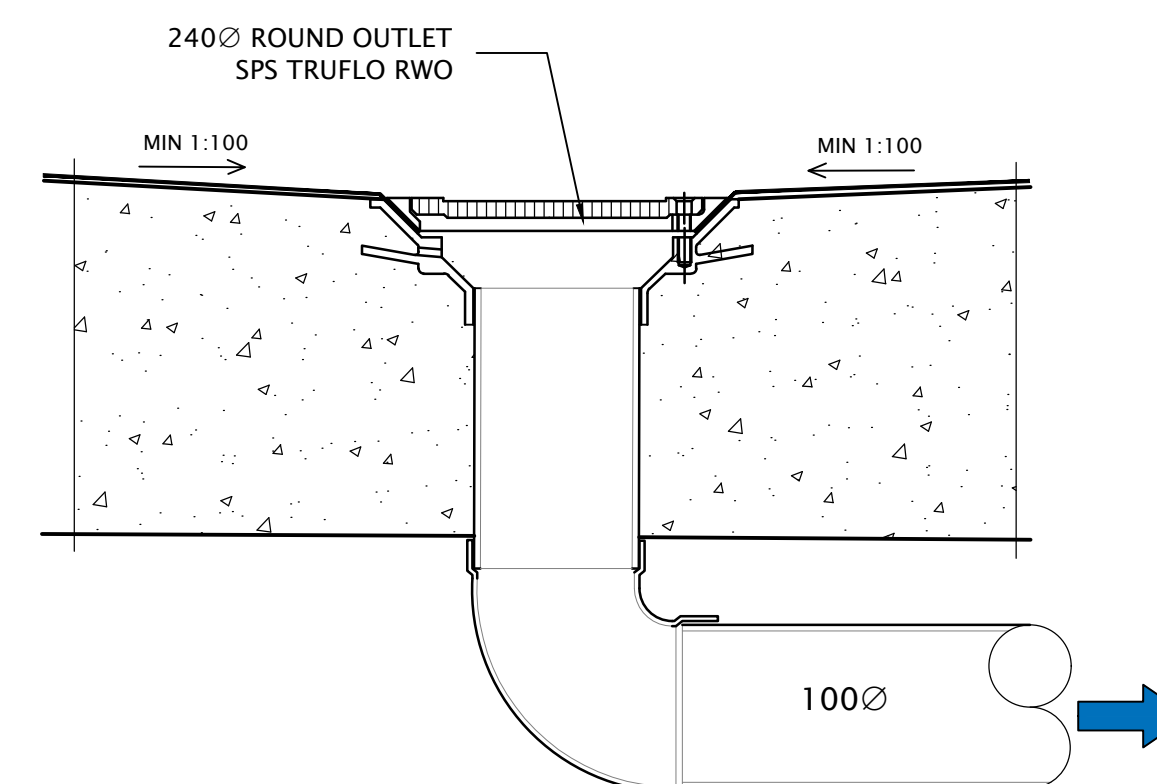


TYPICAL SECTION THROUGH  
SHORING WALL AT B2  
(NOT TO SCALE)

NOTE: Ø100 AGRICULTURAL DRAIN NOT SHOWN ON DETAIL FOR CLARIFICATION



TYPICAL PLANTER OUTLET  
(NOT TO SCALE)  
FITTED WITH STAINLESS STEEL GRATE



TYPICAL DRAIN OUTLET  
(NOT TO SCALE)  
FITTED WITH STAINLESS STEEL GRATE

ISSUE		AMENDMENT	DATE	PLANS					Title		STORMWATER DETAILS		SCALES		AS SHOWN	DATE PLOTTED				
A		ISSUE FOR COORDINATION	18/09/23	 DO NOT SCALE IF IN DOUBT ASK THIS DRAWING SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS COPYRIGHT: Concepts and information contained in these engineering drawings and related documents are the copyright of ATB Consulting Engineers. All other trademarks and the design thereof are the property of their respective owners.					AT		Project		PROPOSED MIXED USE DEVELOPMENT		DRAWN		M.V.		11/06/24	
B		ISSUE FOR DA APPLICATION	20/09/23						DESIGNED		G.U.		DATUM A.H.D.							
C		ISSUE FOR ADDITIONAL INFORMATION	27/02/24						CHECKED		G.U.		DATE CHK'D 11/06/24							
D		ISSUE FOR ADDITIONAL INFORMATION	11/06/24												Client		ANYA SOLUTION PTY LTD		PROJECT No 23051	