	HOTEL ROOM SCHEDULE	AREA	SCHEDULE (C	ŝFA)		DRAWING LIST		MIXED US	SE DEVELOF)
SITE ADDRESS	LEVEL NAME QTY	LEVEL	AREA	FSR	NO.	SHEET NAME	REV	22-30 KENNY	OTDEET	
22-30 KENNY STREET, WOLLONGONG	LEVEL 1 HOTEL 35 LEVEL 2 HOTEL 36	GROUND FL LEVEL 1	1049.48 m ² 1553.02 m ²	0.27	000 001	COVERSHEET DCP ANALYSIS	20 20		,	
LOTS 1-2 D.P. 543836	LEVEL 3 HOTEL 36	LEVEL 1	1532.36 m ²	0.41	001	REGIONAL CONTEXT	CC 00	WOLLONGON	G, NSW	
	TOTAL NO. ROOMS 107	LEVEL 3	1532.45 m ²	0.40	003	LOCAL CONTEXT	CC	BLAQ PROJE	איי	
SITE AREA		LEVEL 4 LEVEL 5	529.93 m ² 659.80 m ²	0.14	004	DETAILED CONTEXTUAL ANALYSIS CONTEXTUAL STREETSCAPE ANALYSIS	CC CC		510	
	UNIT TYPE SCHEDULE	LEVEL 6	888.97 m ²	0.23	006	CONTEXTUAL STREETSCAPE ANALYSIS	CC			
3833.5 sqm TOTAL		LEVEL 7	888.97 m ²	0.23	007 008	SURROUNDING CONTEXTUAL ANALYSIS	CC			e
	TYPES NO OF ROOMS	LEVEL 8 LEVEL 9	888.97 m ² 888.97 m ²	0.23	008	SURROUNDING CONTEXTUAL ANALYSIS SURVEY	20 20			
	2 BED 56	LEVEL 10	888.97 m ²	0.23	010	DEMOLITION PLAN	CC	1		
SUMMARY	3 BED 34	LEVEL 11 LEVEL 12	888.97 m ² 888.97 m ²	0.23	011	PRECEDENCE SITE PLAN	CC CC			ſ
	4 BED 3 TOTAL 105	LEVEL 12	888.97 m ²	0.23	012	BASEMENT 2 PLAN	CC			
GFA TOTAL ALLOWABLE 16629.0 sqm TOTAL PROPOSED 16588.13 sqm		LEVEL 14	888.97 m ²	0.23	014	BASEMENT 1 PLAN	CC			Ć
FSR ALLOWABLE 4.34 : 1		LEVEL 15 LEVEL 16	888.97 m ² 488.84 m ²	0.23	015	GROUND FLOOR PLAN	CC CC			
PROPOSED 4.33 : 1		LEVEL 17	366.30 m ²	0.10	017	LEVEL 2 PLAN	CC			
$\mathcal{A} \mathcal{A} \mathcal{A} \mathcal{A} \mathcal{A} \mathcal{A} \mathcal{A} \mathcal{A} $	$\sim \sim $	Grand total	16601.86.m ²	433	018	LEVEL 3 PLAN LEVEL 4 PLAN	CC CC			
COMMON OPEN SPACE AREA REQUIRED 958.3			3833 Area %	TotalArea	020	LEVEL 5 PLAN	CC	5		
PROPOSED 994. CARPARKING REQUIRED 109.4 RESIDENT	۲ مربدین	Non Res (NRFSR) 55	33.27	16601.86	4 021	TYPICAL LEVEL - LEVEL 6-15	CC	H A		
	IAL > S PER 1 BED) \		66.73		1 022 023	LEVEL 16 PLAN LEVEL 17 PLAN	20 20			
0.9 SPACE	S PER 2 BED)		SR = 3.5 FSR = 6		1024	ROOF PLAN	CC			Ì
21 VISITORS	· · · · · · · · · · · · · · · · · · ·	(NRFSR x NR / 100)	+ (RFSR x R / 100)		025	GFA PLANS UNIT KEY PLAN	CC CC			
(0.2 SPACE 3 COMMERCIA	S PER UNIT)	1.996 Allowable FSR	+ 2.336	:1	020	STORAGE SCHEDULE	CC 00			
(1 SPACE P 54 HOTEL	PER 60 SQM)	et a construction and services	4.33 :1		030	SITE CONTEXT - KEY FLOOR PLANS	CC			μ
(0.5 SPACE	S PER HOTEL ROOM)	Allowable GFA 10	0003.0		031	SITE CONTEXT - KEY FLOOR PLANS SITE CONTEXT - KEY FLOOR PLANS	20 20			R
03 HOTEL STAF (0.25 SPAC	ES PER STAFF MEMBER)	Proposed FSR	4.33 :1		033	SITE CONTEXT - KEY FLOOR PLANS	CC			
CARPARKING PROVIDED 109 RESIDENTI	AL	Area Difference	1.7		X 034	FUTURE DEVELOPMENT GFA PLANS ELEVATION - EAST	00			
21 VISITORS 3 COMMERC	<u>}</u>				1 040	ELEVATION - EAST ELEVATION - SOUTH	20 20			
54 HOTEL	<u>}</u>				042	ELEVATION - WEST	CC			
03 HOTEL STA	AFF X	AREA TYP	E BREAKDOV	/N (GFA)	043	ELEVATION - NORTH SECTION A	20 20	DISCIPLINE	CONSULTANTS	C
	AL (1 PER 15 UNITS) NIL REQUIRED)			. ,	051	SECTION B	CC	ARCHITECT	DESIGN WORKSHOP AUSTRALIA	
01 COMMERC	IAL (1 PER 25 CARS)	LEVEL	AREA	FSR	X 052	SECTION C SECTION D	CC CC	PROJECT COORDINATOR	DESIGN WORKSHOP AUSTRALIA	1
02 HOTEL (1 P		GROUND FL	905.60 m ²	0.24	₹ 055	SITE SECTION E	CC CC	PROJECT COORDINATOR	DESIGN WORKSHOP AUSTRALIA	
	AL (1 PER 3 UNITS = 35)	LEVEL 1	1553.02 m ²	0.41	✓ 055	DETAIL SECTIONS	CC			+
9 VISITOR (1	PER 12 UNITS = 9)			0.40						
02 COM / HOTE	EL STAFF (1 PER 200 SQM = 3)	LEVEL 2 LEVEL 3	1532.36 m ² 1532.45 m ²		061	3D PERSPECTIVE (FRONT) 3D PERSPECTIVE (REAR)	20 20	PLANNING CONSULTANT	MMJ PLANNING	Ľ
02 COM / HOTE		LEVEL 3	1532.36 m ² 1532.45 m ² 5523.43 m ²	0.40	X 062 063	3D PERSPECTIVE (REAR) 3D PERSPECTIVES	CC CC	PLANNING CONSULTANT SURVEYOR	MMJ PLANNING CEH CONSULTING	
02 COM/HOTE 01 COM/HOT	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3)	LEVEL 3 RESIDENTIAL	1532.45 m ² 5523.43 m ²	0.40	X 062 063 064	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES	CC CC CC			
02 COM / HOTE	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3)	LEVEL 3	1532.45 m ²	0.40	X 062 063	3D PERSPECTIVE (REAR) 3D PERSPECTIVES	CC CC	SURVEYOR	CEH CONSULTING ATB CONSULTING ENGINEERS	
02 COM / HOTE 01 COM / HOT 70% OF UNITS (73 OUT OF 105 UNITS) REQUIRED TO ACH TOTAL PROVIDED = 82 UNITS (78.10%)	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3)	LEVEL 3 RESIDENTIAL GROUND FL LEVEL 4 LEVEL 5	1532.45 m² 5523.43 m² 143.88 m² 529.93 m² 659.80 m²	0.40 1.44 0.04 0.14 0.17	x 062 063 064 065 070 x 071	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES 3D PERSPECTIVE (HEIGHT PLANE) SHADOWS - WINTER SHADOWS - WINTER	CC CC CC CC CC CC CC CC	SURVEYOR TRAFFIC / DRAINAGE LANDSCAPE	CEH CONSULTING ATB CONSULTING ENGINEERS ZENITH LANDSCAPE DESIGNS	
02 COM / HOTE 01 COM / HOT 70% OF UNITS (73 OUT OF 105 UNITS) REQUIRED TO ACH TOTAL PROVIDED = 82 UNITS (78.10%) 60% OF UNITS IN FIRST 9 STOREYS (28 OUT OF 47 UNITS VENTILATION (ADG)	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3)	LEVEL 3 RESIDENTIAL GROUND FL LEVEL 4 LEVEL 5 LEVEL 6	1532.45 m ² 5523.43 m ² 143.88 m ² 529.93 m ²	0.40 1.44 0.04 0.14	1 062 063 064 065 070	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES 3D PERSPECTIVE (HEIGHT PLANE) SHADOWS - WINTER	CC CC CC CC CC CC CC CC CC	SURVEYOR TRAFFIC / DRAINAGE LANDSCAPE GEOTECH / CONTAM	CEH CONSULTING ATB CONSULTING ENGINEERS ZENITH LANDSCAPE DESIGNS AARGUS	
02 COM / HOTE 01 COM / HOT 70% OF UNITS (73 OUT OF 105 UNITS) REQUIRED TO ACH TOTAL PROVIDED = 82 UNITS (78.10%) 60% OF UNITS IN FIRST 9 STOREYS (28 OUT OF 47 UNITS VENTILATION (ADG) TOTAL PROVIDED = 31 UNITS (65.96%) 10% OF UNITS (10.5 UNITS) REQUIRED TO BE ADAPTABLE	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3) IIEVE SOLAR COMPLIANCE (ADG)) REQUIRED TO ACHIEVE CROSS	LEVEL 3 RESIDENTIAL GROUND FL LEVEL 4 LEVEL 5 LEVEL 6 LEVEL 6 LEVEL 7 LEVEL 8	1532.45 m² 5523.43 m² 143.88 m² 529.93 m² 659.80 m² 888.97 m² 888.97 m² 888.97 m²	0.40 1.44 0.04 0.14 0.17 0.23 0.23 0.23	 062 063 064 065 070 071 072 073 092 	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES 3D PERSPECTIVE (HEIGHT PLANE) SHADOWS - WINTER SHADOWS - WINTER SHADOWS - WINTER SHADOWS - SUMMER CROSS VENTILATION	23 23 25 25 25 25 25 25 25 25 25 25 25 25	SURVEYOR TRAFFIC / DRAINAGE LANDSCAPE	CEH CONSULTING ATB CONSULTING ENGINEERS ZENITH LANDSCAPE DESIGNS	
02 COM / HOTE 01 COM / HOT 70% OF UNITS (73 OUT OF 105 UNITS) REQUIRED TO ACH TOTAL PROVIDED = 82 UNITS (78.10%) 60% OF UNITS IN FIRST 9 STOREYS (28 OUT OF 47 UNITS VENTILATION (ADG) TOTAL PROVIDED = 31 UNITS (65.96%)	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3) IIEVE SOLAR COMPLIANCE (ADG)) REQUIRED TO ACHIEVE CROSS	LEVEL 3 RESIDENTIAL GROUND FL LEVEL 4 LEVEL 5 LEVEL 6 LEVEL 6 LEVEL 7 LEVEL 8 LEVEL 9	1532.45 m² 5523.43 m² 143.88 m² 529.93 m² 659.80 m² 888.97 m²	0.40 1.44 0.04 0.14 0.17 0.23 0.23 0.23 0.23	 062 063 064 065 070 071 072 073 092 093 	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES 3D PERSPECTIVE (HEIGHT PLANE) SHADOWS - WINTER SHADOWS - WINTER SHADOWS - WINTER SHADOWS - SUMMER CROSS VENTILATION SOLAR ACCESS VIEWS	23 23 25 25 25 25 25 25 25 25 25 25 25 25 25	SURVEYOR TRAFFIC / DRAINAGE LANDSCAPE GEOTECH / CONTAM	CEH CONSULTING ATB CONSULTING ENGINEERS ZENITH LANDSCAPE DESIGNS AARGUS	
02 COM / HOTE 01 COM / HOT 70% OF UNITS (73 OUT OF 105 UNITS) REQUIRED TO ACH TOTAL PROVIDED = 82 UNITS (78.10%) 60% OF UNITS IN FIRST 9 STOREYS (28 OUT OF 47 UNITS VENTILATION (ADG) TOTAL PROVIDED = 31 UNITS (65.96%) 10% OF UNITS (10.5 UNITS) REQUIRED TO BE ADAPTABLE 20% OF UNITS (21 UNITS) REQUIRED TO ACHIEVE SILVER TOTAL ADAPTABLE PROVIDED - 13 UNITS (401, 501, 60	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3) IIEVE SOLAR COMPLIANCE (ADG)) REQUIRED TO ACHIEVE CROSS E R (LIVABLE HOUSING) 01, 701, 801,901,1001, 1101, 1201)	LEVEL 3 RESIDENTIAL GROUND FL LEVEL 4 LEVEL 5 LEVEL 6 LEVEL 6 LEVEL 7 LEVEL 8	1532.45 m² 5523.43 m² 143.88 m² 529.93 m² 659.80 m² 888.97 m² 888.97 m² 888.97 m²	0.40 1.44 0.04 0.14 0.17 0.23 0.23 0.23	 062 063 064 065 070 071 072 073 092 	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES 3D PERSPECTIVE (HEIGHT PLANE) SHADOWS - WINTER SHADOWS - WINTER SHADOWS - WINTER SHADOWS - SUMMER CROSS VENTILATION	23 23 25 25 25 25 25 25 25 25 25 25 25 25	SURVEYOR TRAFFIC / DRAINAGE LANDSCAPE GEOTECH / CONTAM BASIX / SECTION J	CEH CONSULTING ATB CONSULTING ENGINEERS ZENITH LANDSCAPE DESIGNS AARGUS OUTSOURCE IDEAS	
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02 COM / HOTE 01 COM / HOT 70% OF UNITS (73 OUT OF 105 UNITS) REQUIRED TO ACH TOTAL PROVIDED = 82 UNITS (78.10%) 60% OF UNITS IN FIRST 9 STOREYS (28 OUT OF 47 UNITS VENTILATION (ADG) TOTAL PROVIDED = 31 UNITS (65.96%) 10% OF UNITS (10.5 UNITS) REQUIRED TO BE ADAPTABLE 20% OF UNITS (21 UNITS) REQUIRED TO ACHIEVE SILVER TOTAL ADAPTABLE PROVIDED - 13 UNITS (401, 501, 60 1301, 1401, TOTAL LIVABLE PROVIDED - 23 UNITS (401, 501, 60 1301, 1401,	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3) IIEVE SOLAR COMPLIANCE (ADG)) REQUIRED TO ACHIEVE CROSS E R (LIVABLE HOUSING) D1, 701, 801,901,1001, 1101, 1201) 1501, 404) 1, 701, 801, 901, 1001, 1101, 1201 1501,404, 502, 602,702, 802, 902,	LEVEL 3 RESIDENTIAL GROUND FL LEVEL 4 LEVEL 5 LEVEL 6 LEVEL 7 LEVEL 8 LEVEL 8 LEVEL 9 LEVEL 10 LEVEL 11	1532.45 m² 5523.43 m² 143.88 m² 529.93 m² 659.80 m² 888.97 m²	0.40 1.44 0.04 0.14 0.17 0.23 0.23 0.23 0.23 0.23 0.23 0.23 0.23	062 063 064 065 070 071 072 073 092 093 094 095 096 096a	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES 3D PERSPECTIVE (HEIGHT PLANE) SHADOWS - WINTER SHADOWS - WINTER SHADOWS - WINTER SHADOWS - SUMMER CROSS VENTILATION SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS	CC	SURVEYOR TRAFFIC / DRAINAGE LANDSCAPE GEOTECH / CONTAM BASIX / SECTION J ACCESS CONSULTANT ACOUSTIC CONSULTANT WASTE CONSULTANT	CEH CONSULTING ATB CONSULTING ENGINEERS ZENITH LANDSCAPE DESIGNS AARGUS OUTSOURCE IDEAS ACCESS BUILDING SOLUTIONS ACOUSTIC SOLUTIONS DICKENS SOLUTIONS	
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02 COM / HOTE 01 COM / HOTE 02 COM / HOTE 03 COM / HOTE 04 COM / HOTE 04 COM / HOTE 05 COM / HOTE 06 COM / HOTE 06 COM / HOTE 06 COM / HOTE 07 COM / HOTE 06 COM / HOTE 07 COM / HOTE 06 COM / HOTE 07 COM / HOTE 06 COM / HOTE 06 COM / HOTE 07 COM	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3) IIEVE SOLAR COMPLIANCE (ADG)) REQUIRED TO ACHIEVE CROSS E (LIVABLE HOUSING) 01, 701, 801,901,1001, 1101, 1201) 1501, 404) 1, 701, 801, 901, 1001, 1101, 1201 1501,404, 502, 602,702, 802, 902, , 1302, 1402, 1502) H ADAPTABLE UNIT ATISFYING THE INTENT OF ssions and meetings with authorities, app Feasibility completed based on informatic	LEVEL 3 RESIDENTIAL GROUND FL LEVEL 4 LEVEL 5 LEVEL 5 LEVEL 6 LEVEL 7 LEVEL 8 LEVEL 9 LEVEL 10 LEVEL 10 LEVEL 11 LEVEL 12 LEVEL 13 LEVEL 13 LEVEL 14 LEVEL 15 LEVEL 16 LEVEL 17 VEVEL 17	1532.45 m² 5523.43 m² 143.88 m² 529.93 m² 659.80 m² 888.97 m² 886.30 m² 11078.43 m² 16601.86 m²	0.40 1.44 0.04 0.14 0.17 0.23 0.3 0.10 2.89 4.33	062 063 064 065 070 071 072 073 092 093 094 095 096 096 097 097	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES 3D PERSPECTIVE (HEIGHT PLANE) SHADOWS - WINTER SHADOWS - WINTER SHADOWS - WINTER SHADOWS - SUMMER CROSS VENTILATION SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS SOLAR ACCESS_COMPARATIVE ANALYSIS SOLAR ACCESS VIEWS FUTURE	CC CC	SURVEYOR TRAFFIC / DRAINAGE LANDSCAPE GEOTECH / CONTAM BASIX / SECTION J ACCESS CONSULTANT ACOUSTIC CONSULTANT WASTE CONSULTANT WIND CONSULTANT QUANTITY SURVEYOR ARBORIST	CEH CONSULTING ATB CONSULTING ENGINEERS ZENITH LANDSCAPE DESIGNS AARGUS OUTSOURCE IDEAS OUTSOURCE IDEAS ACCESS BUILDING SOLUTIONS ACOUSTIC SOLUTIONS DICKENS SOLUTIONS ANA CIVIL PBA ALLIED TREES CONSULTANCY	
02 COM / HOTE 01 COM / HOTE 02 COM / HOTE 01 COM / HOTE 02 COM / HOTE 03 COM / HOTE 04 COM / HOTE 04 COM / HOTE 06 COM / HOTE 92 UNITS (78.10%) 06 OF UNITS IN FIRST 9 STOREYS (28 OUT OF 47 UNITS VENTILATION (ADG) TOTAL PROVIDED = 31 UNITS (65.96%) 10% OF UNITS (10.5 UNITS) REQUIRED TO BE ADAPTABLE 20% OF UNITS (10.5 UNITS) REQUIRED TO BE ADAPTABLE 20% OF UNITS (21 UNITS) REQUIRED TO ACHIEVE SILVER TOTAL ADAPTABLE PROVIDED - 13 UNITS (401, 501, 60 1301, 1401, 1102, 1202, (NOTE: SINCE 10% OF THE UNITS ALREADY COMPLY WIT REQUIREMENTS THESE UNITS ARE ALSO CAPABLE OF S SILVER LEVEL OF LIVABLE HOUSING GUIDELINES). DISCLAIMER Subject to: full site survey, measurements are preliminary, discurelevant consultant information as per council DA requirements. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Apple	EL STAFF (1 PER 200 SQM = 3) EL VISITOR (1 PER 750 SQM = 3) IIEVE SOLAR COMPLIANCE (ADG)) REQUIRED TO ACHIEVE CROSS E (LIVABLE HOUSING) 01, 701, 801,901,1001, 1101, 1201) 1501, 404) 1, 701, 801, 901, 1001, 1101, 1201 1501,404, 502, 602,702, 802, 902, , 1302, 1402, 1502) H ADAPTABLE UNIT ATISFYING THE INTENT OF ssions and meetings with authorities, app Feasibility completed based on informatic	LEVEL 3 RESIDENTIAL GROUND FL LEVEL 4 LEVEL 5 LEVEL 6 LEVEL 7 LEVEL 8 LEVEL 9 LEVEL 10 LEVEL 10 LEVEL 11 LEVEL 12 LEVEL 13 LEVEL 14 LEVEL 15 LEVEL 16 LEVEL 17 Voval from authorities, on provided by client.	1532.45 m² 5523.43 m² 143.88 m² 529.93 m² 659.80 m² 888.97 m² 886.30 m² 11078.43 m² 16601.86 m²	0.40 1.44 0.04 0.14 0.17 0.23 0.40	062 063 064 065 070 071 072 073 092 093 094 095 096 096 097 098	3D PERSPECTIVE (REAR) 3D PERSPECTIVES 3D PERSPECTIVES 3D PERSPECTIVE (HEIGHT PLANE) SHADOWS - WINTER SHADOWS - WINTER SHADOWS - WINTER SHADOWS - SUMMER CROSS VENTILATION SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS SOLAR ACCESS VIEWS SOLAR ACCESS_COMPARATIVE ANALYSIS SOLAR ACCESS VIEWS FUTURE FUTURE CONTEXT - SOLAR CALCULATIONS	CC CC	SURVEYOR TRAFFIC / DRAINAGE LANDSCAPE GEOTECH / CONTAM BASIX / SECTION J ACCESS CONSULTANT ACOUSTIC CONSULTANT WASTE CONSULTANT WIND CONSULTANT QUANTITY SURVEYOR ARBORIST	CEH CONSULTING ATB CONSULTING ENGINEERS ZENITH LANDSCAPE DESIGNS AARGUS OUTSOURCE IDEAS ACCESS BUILDING SOLUTIONS ACOUSTIC SOLUTIONS DICKENS SOLUTIONS ANA CIVIL PBA ALLIED TREES CONSULTANCY MIKO	
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DRAWING NAME: COVERSHEET

DISCLAIMER All dimensions are in r Copyright of DWA.



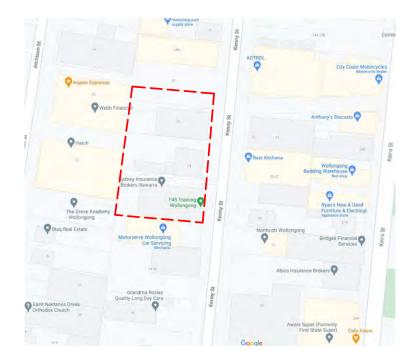
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MIKO SARKIS		miko24sarkis@gmail.com.au

	ISSUE DATE: 11.07.2024		PROJECT N 2563	√o .
	DRAWN	I: NT / DM		
	SCALE:		DWG No.	Rev.
	QA:	RG	000	CC
			DWG No. 000	Rev.



ZONING MAP

B3 - COMMERCIAL CORE





22-30 KENNY STREET, WOLLONGONG



SEE WOLLONGONG DCP AND COVERSHEET FOR FSR CALCULATIONS

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		91
	80	
	57 50	
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BUILDING HEIGHT 60 METRE HEIGHT LIMIT



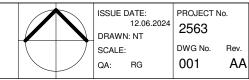
STREET VIEW

22-30 KENNY STREET, WOLLONGONG

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property.

1	All parking a	ind ramps to traffic e	ngineers details. (Subject to Appro	oval)					
	REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong 81a Princes Highway, Fairy Meadow NSW 2519	Sydney Level 10, 6 Mount Olympus Boulevard,	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	
				DUUM	Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
	DISCLAIME All dimensions are Copyright of DW/	e in millimeters. Verify all dimer	isions on site prior to commencement of any work.	DESIGN WORKSHOP AUSTRALIA		Robert Gizzi (Reg. 8286)	DRAWING NAME:	DCP ANALYSIS	
						•			-







REGIONAL CONTEXT

NTS

LEGEND

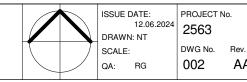
PROPOSED DEVELOPMENT PARKS AND RECREATION AREAS BEACHES LOCAL SHOPS

EDUCATION FACILITY PUBLIC TRANSPORT FACILITIES MEDICAL FACILITIES HERITAGE ITEMS

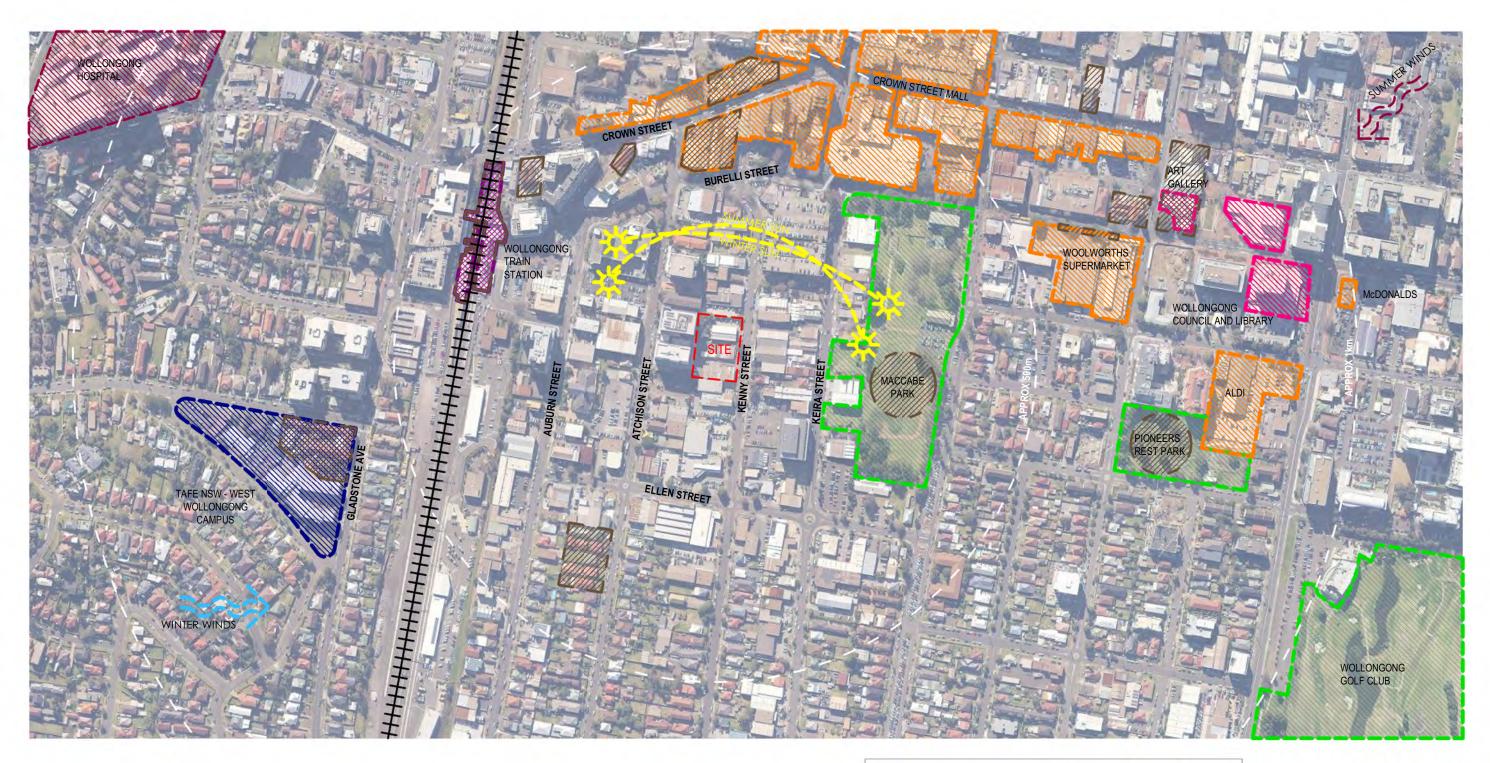
DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

/ in parting		engineers details. (Oubject to Appro	÷·••)					
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	
				81a Princes Highway, Fairy Meadow NSW 2519	Level 10, 6 Mount Olympus Boulevard,	ADDRESS:	22-30 KENNY STREET.	
DISCLAIM	ED			Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Wolli Creek NSW 2205 Nominated Architect:		WOLLONGONG, NSW	
All dimensions a Copyright of DW	re in millimeters. Verify all din	ensions on site prior to commencement of any work.	DESIGN WORKSHOP AUSTRALIA	Web: www.designworkshop.com.au	Robert Gizzi (Reg. 8286)	DRAWING NAME:	REGIONAL CONTEXT	

ADDITIONAL INFORMATION



AA A3





LEGEND

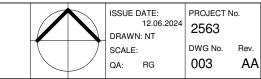


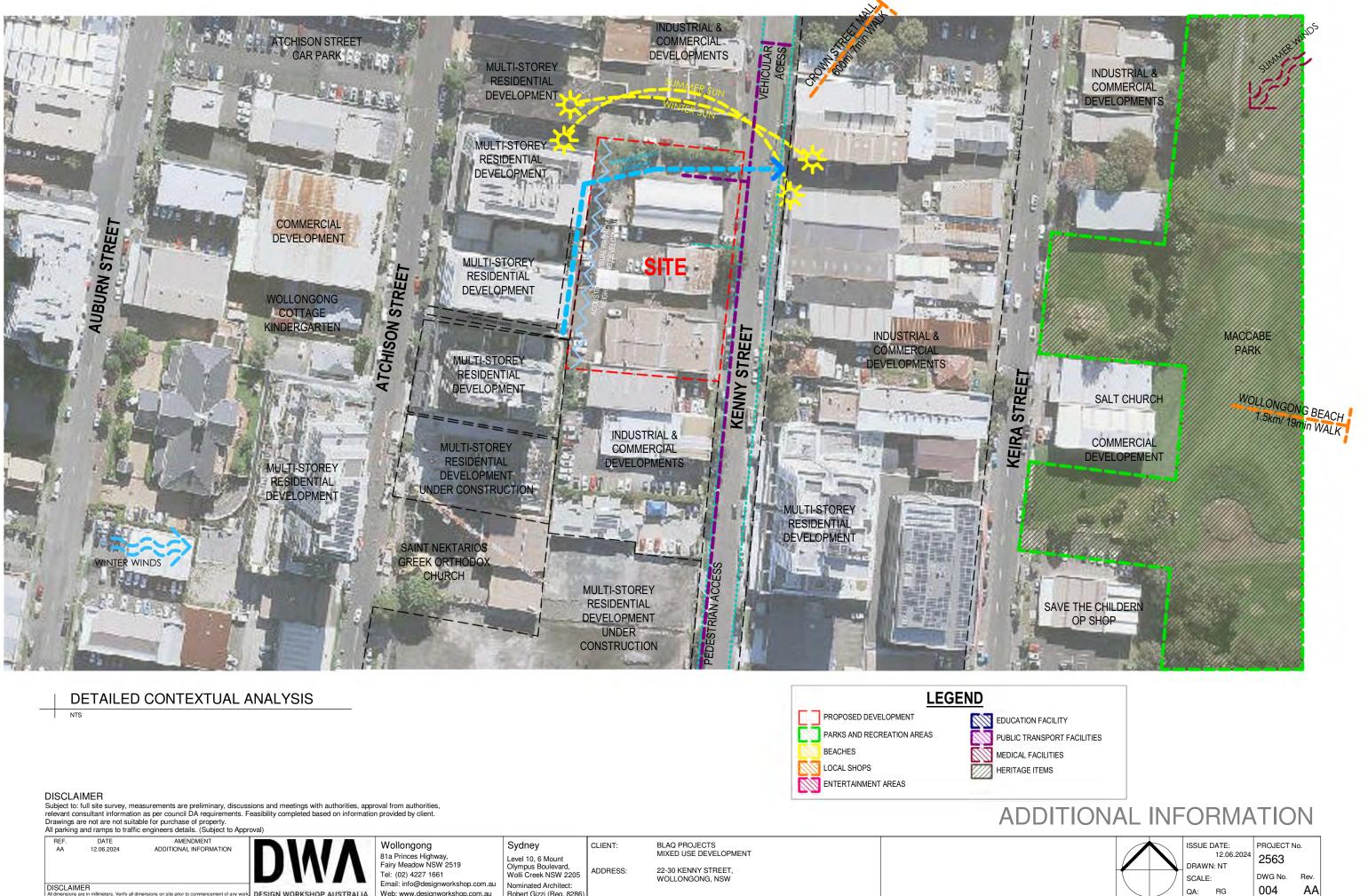
EDUCATION FACILITY MEDICAL FACILITIES HERITAGE ITEMS

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

All parking	and ramps to trame	engineers details. (Subject to Appro	Jval)					
REF. AA DISCLAIM All dimensions i Copyright of DV	are in millimeters. Verify all dim	AMENDMENT ADDITIONAL INFORMATION	DINA DESIGN WORKSHOP AUSTRALIA	Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect:	CLIENT: ADDRESS: DRAWING NAME:	BLAQ PROJECTS MIXED USE DEVELOPMENT 22-30 KENNY STREET, WOLLONGONG, NSW LOCAL CONTEXT	

PUBLIC TRANSPORT FACILITIES



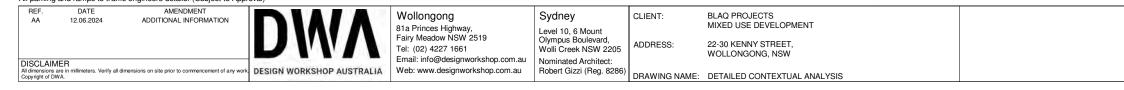


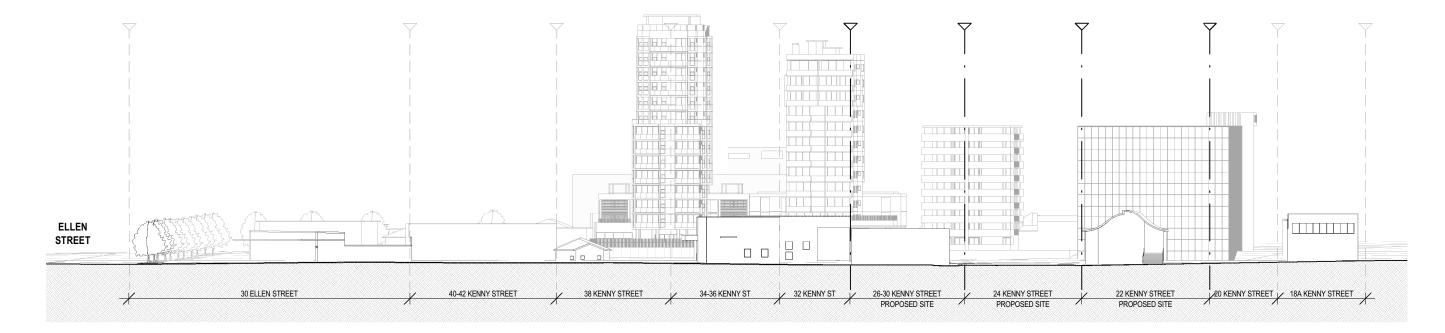




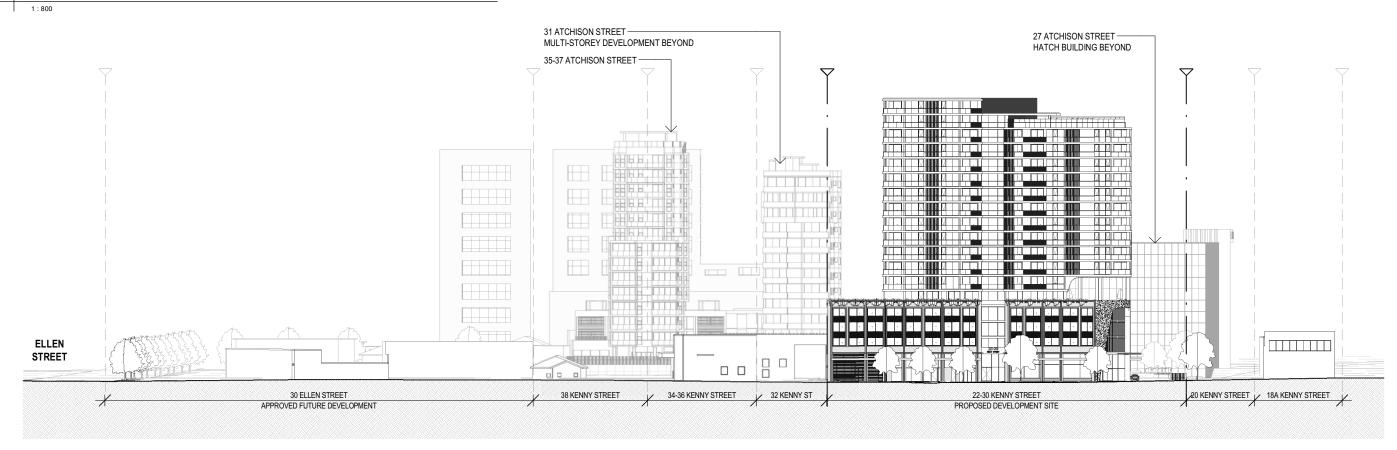








STREETSCAPE ANALYSIS - EXISTING STREETSCAPE



STREETSCAPE ANALYSIS - PROPOSED STREETSCAPE

1 : 800

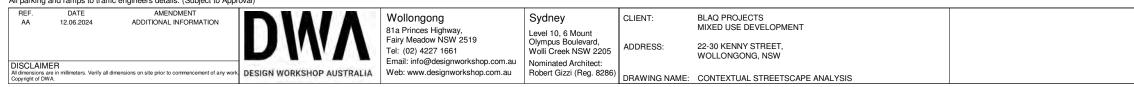
DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

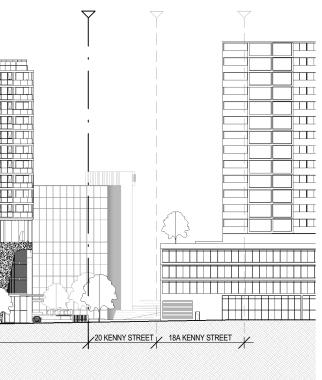
REF. DATE AA 12.06.2024 DISCLAIMER All dimensions are in millimeters. Verify all dimensior copyright of WWA.	AMENDMENT ADDITIONAL INFORMATION s on site prior to commencement of any work	DINA DESIGN WORKSHOP AUSTRALIA	Wollongong 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect:	CLIENT: ADDRESS: DRAWING NAME:	BLAQ PROJECTS MIXED USE DEVELOPMENT 22-30 KENNY STREET, WOLLONGONG, NSW CONTEXTUAL STREETSCAPE ANALYSIS		ISSUE DATE: 12.06.2024 DRAWN: NT / DM SCALE: QA: RG	PROJECT 1 2563 DWG No. 005	
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		31 ATCHSON STREET MULTI-STOREY DEVELOPMENT BE 32-38 KENNY STREET POTENTIAL FUTURE DEVELOPMENT		22-30 KENNY STREET PROPOSED DEVELOPMENT
ELLEN STREET				
	30 ELLEN STREET PROPOSED FUTURE DEVELOPMENT (UNDER CONSTRUCTION)		8 KENNY ST LOPMENT ENVELOPE	22-30 KENNY STREET PROPOSED DEVELOPMENT SITE

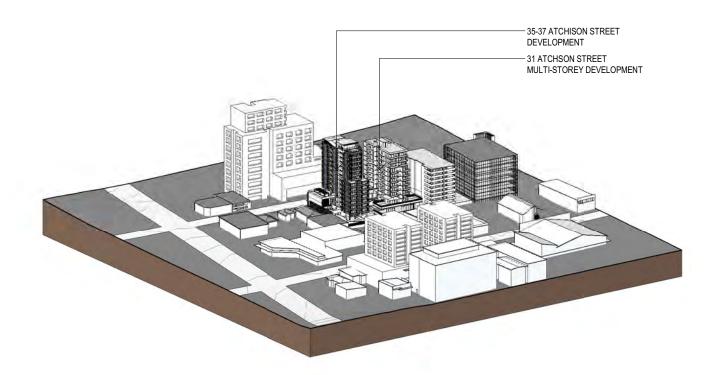
STREETSCAPE ANALYSIS - FUTURE 1 : 800

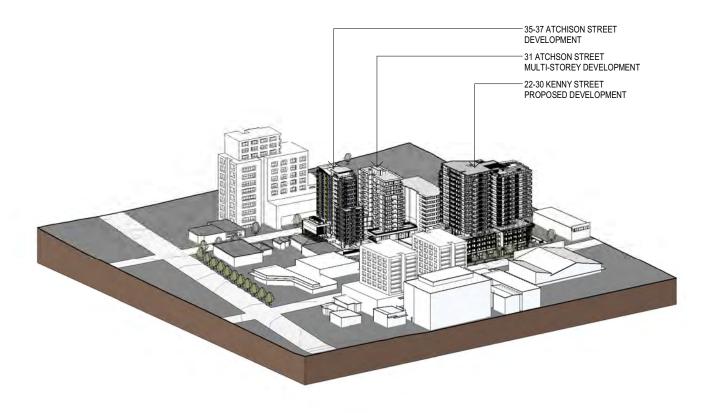
DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)





	ISSUE D	ATE:	PROJECT N	lo.
	12.06.2024		2563	
	DRAWN	: NT / DM	2000	
	SCALE:		DWG No.	Rev.
	QA:	RG	006	AA
			-	





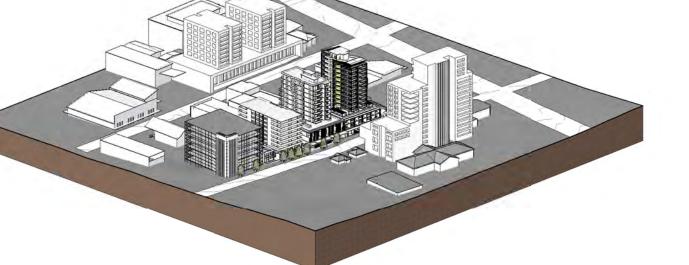
CONTEXTUAL 3D VIEW ANALYSIS - PROPOSED - VIEW 2

CONTEXTUAL 3D VIEW ANALYSIS - EXISTING - VIEW 2

CONTEXTUAL 3D VIEW ANALYSIS - EXISTING - VIEW 1

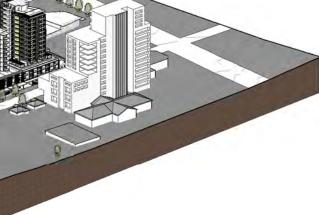
DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not avaitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

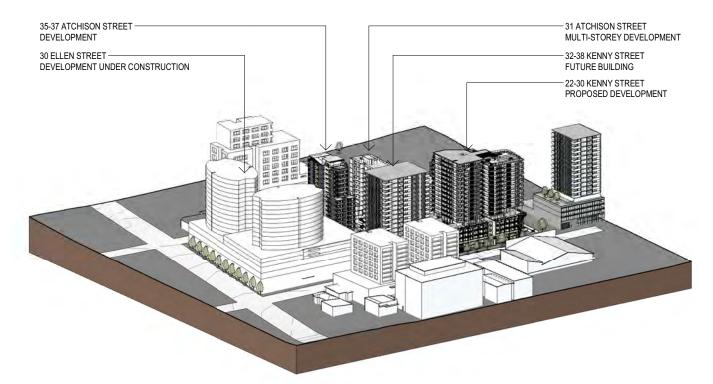
AA 12.06.2024 ADDITIONAL INFORMATION BIA Princes Highway, 81a Princes Highway, Level 10, 6 Mount		PROJECT No	
	DRAWN: NT / DM	2563	
Tel: (02) 4227 1661 Email: info@designworkshop.com.au SCA	CALE:	DWG No.	Rev.
Ald/mensions on site prior to commencement of any work Copyright of DWA. BESIGN WORKSHOP AUSTRALIA Web: www.designworkshop.com.au Robert Gizzi (Reg. 8286) DRAWING NAME: SURROUNDING CONTEXTUAL ANALYSIS	QA: RG	007	AA



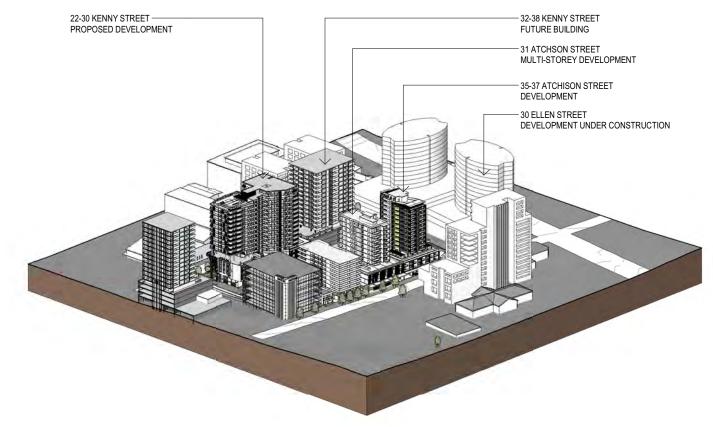
CONTEXTUAL 3D VIEW ANALYSIS - PROPOSED - VIEW 1

22-30 KENNY STREET PROPOSED DEVELOPMENT - 31 ATCHSON STREET MULTI-STOREY DEVELOPMENT - 35-37 ATCHISON STREET DEVELOPMENT





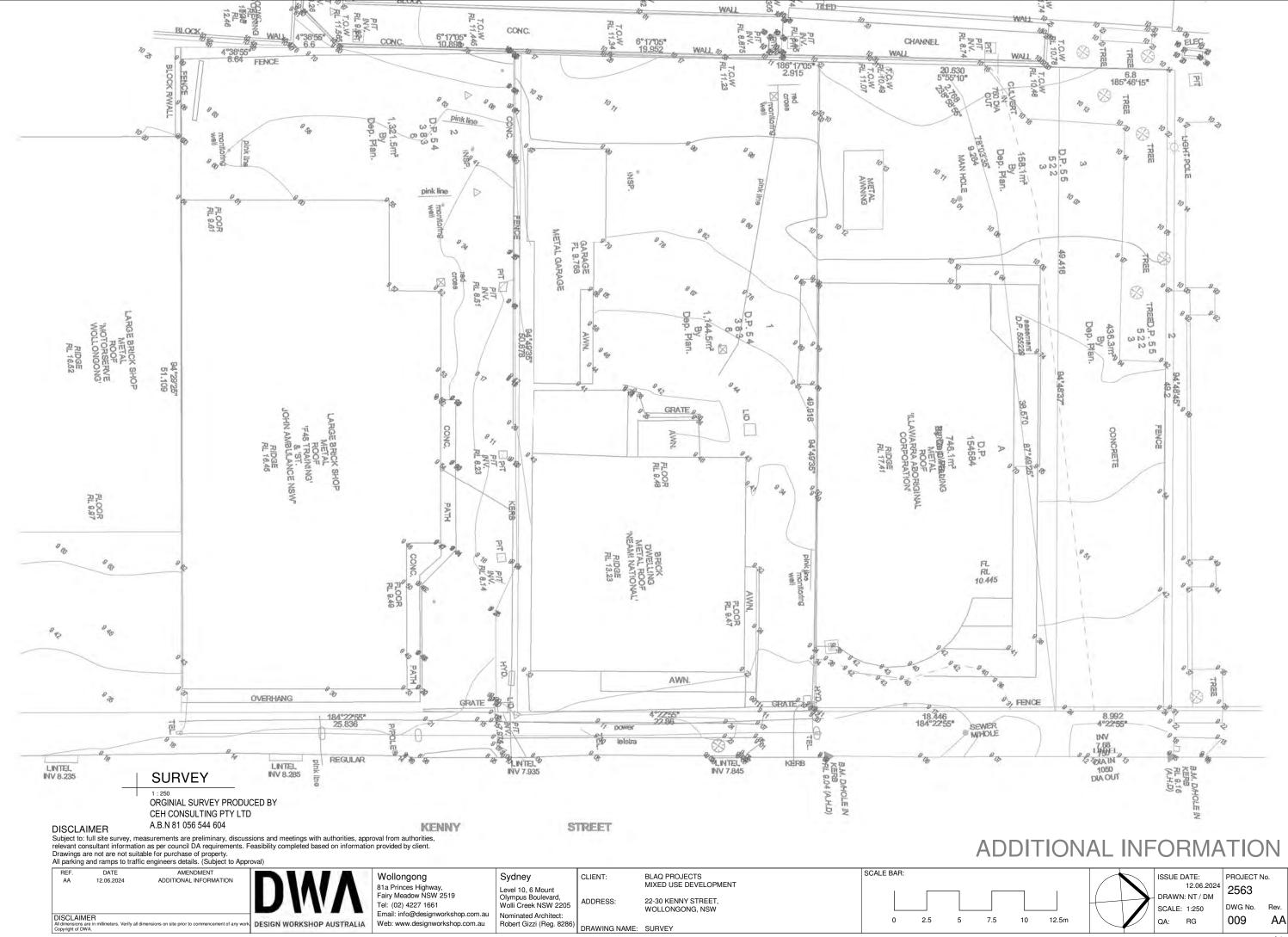
CONTEXTUAL 3D VIEW ANALYSIS - FUTURE - VIEW 1

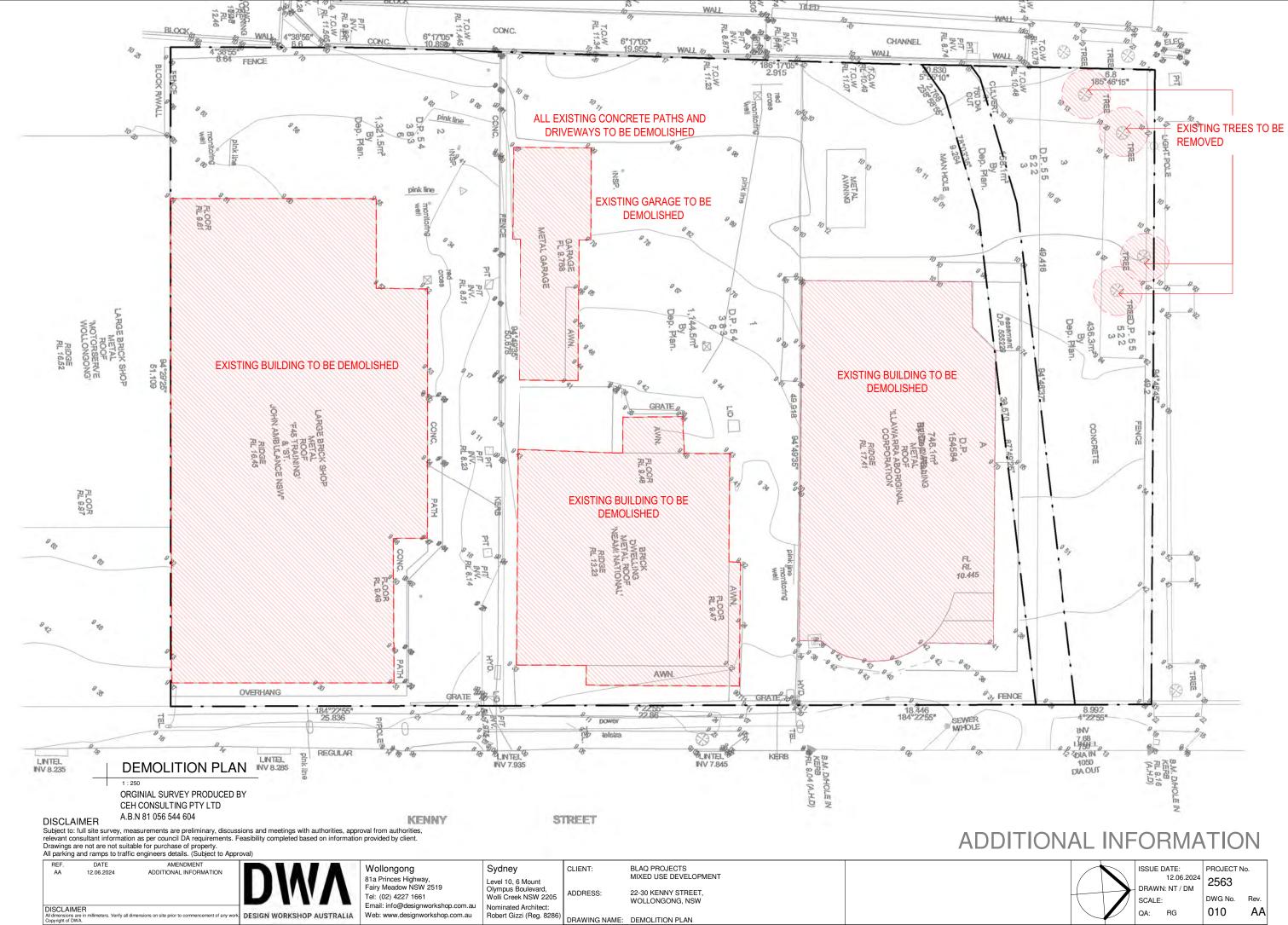


CONTEXTUAL 3D VIEW ANALYSIS - FUTURE - VIEW 2

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REF. DATE AMENDMENT AA 12.06.2024 ADDITIONAL INFORMATION DISCLAIMER All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any w Copyright of WA.		Email: info@designworkshop.com.au	Sydney Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: ADDRESS: DRAWING NAME	BLAQ PROJECTS MIXED USE DEVELOPMENT 22-30 KENNY STREET, WOLLONGONG, NSW : SURROUNDING CONTEXTUAL ANALYSIS	ISSUE DATE: 12.06.2024 DRAWN: NT SCALE: QA: RG	 PROJECT 2563 DWG No. 008 	
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	ISSUE D	DATE: 12.06.2024 : NT / DM	PROJECT N 2563	No.
	SCALE: QA:	RG	dwg №. 010	Rev.
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DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

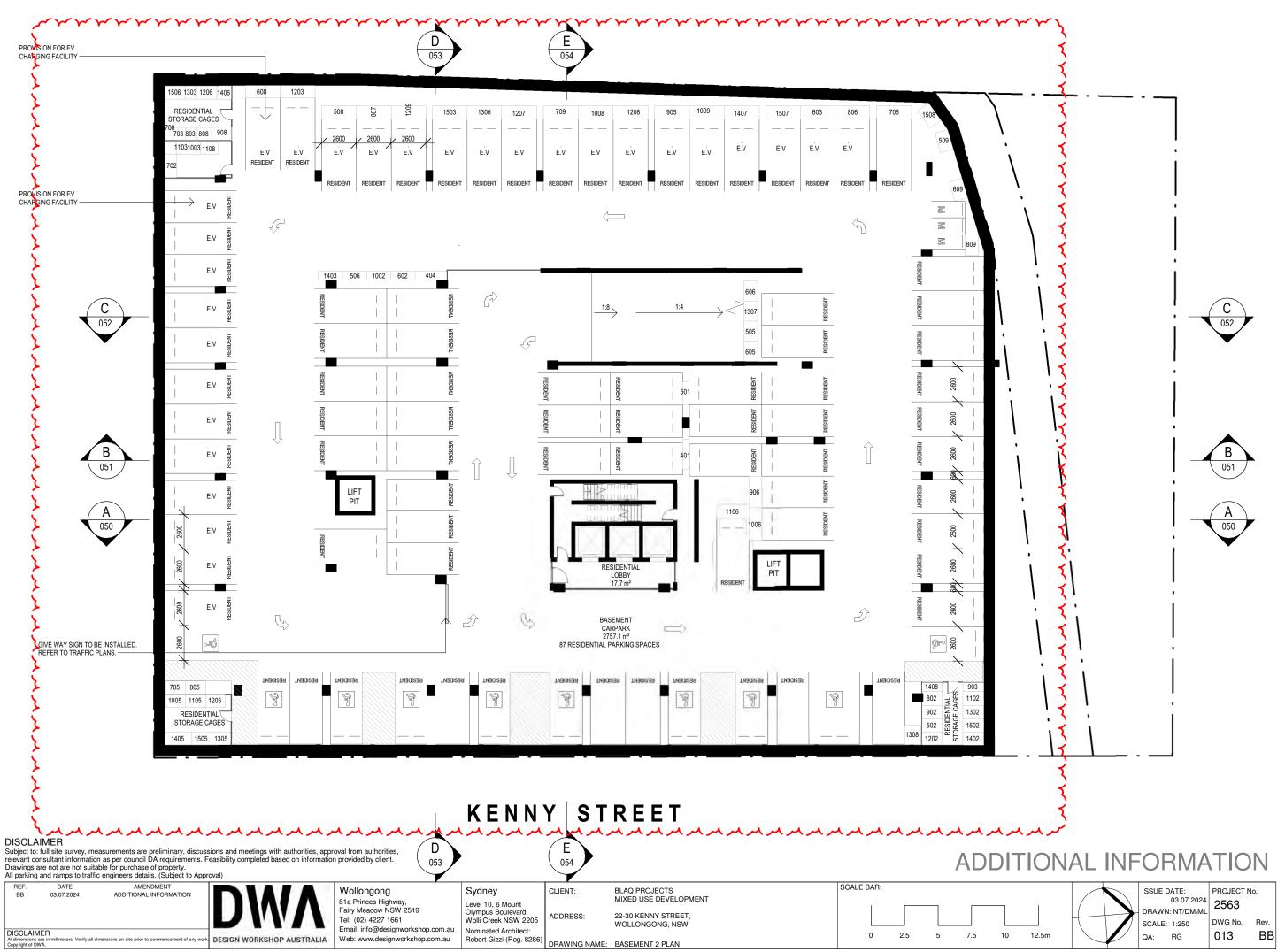


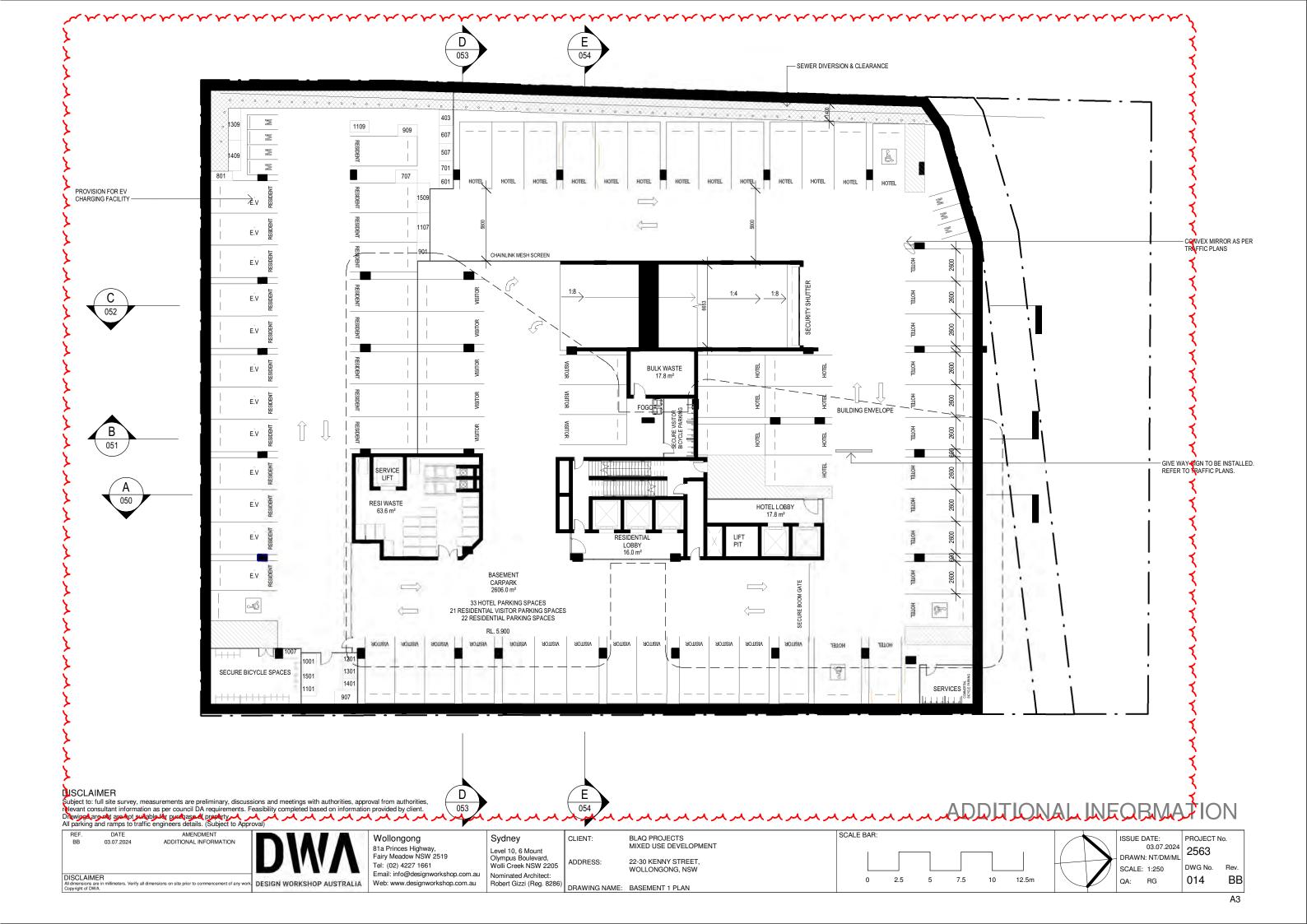


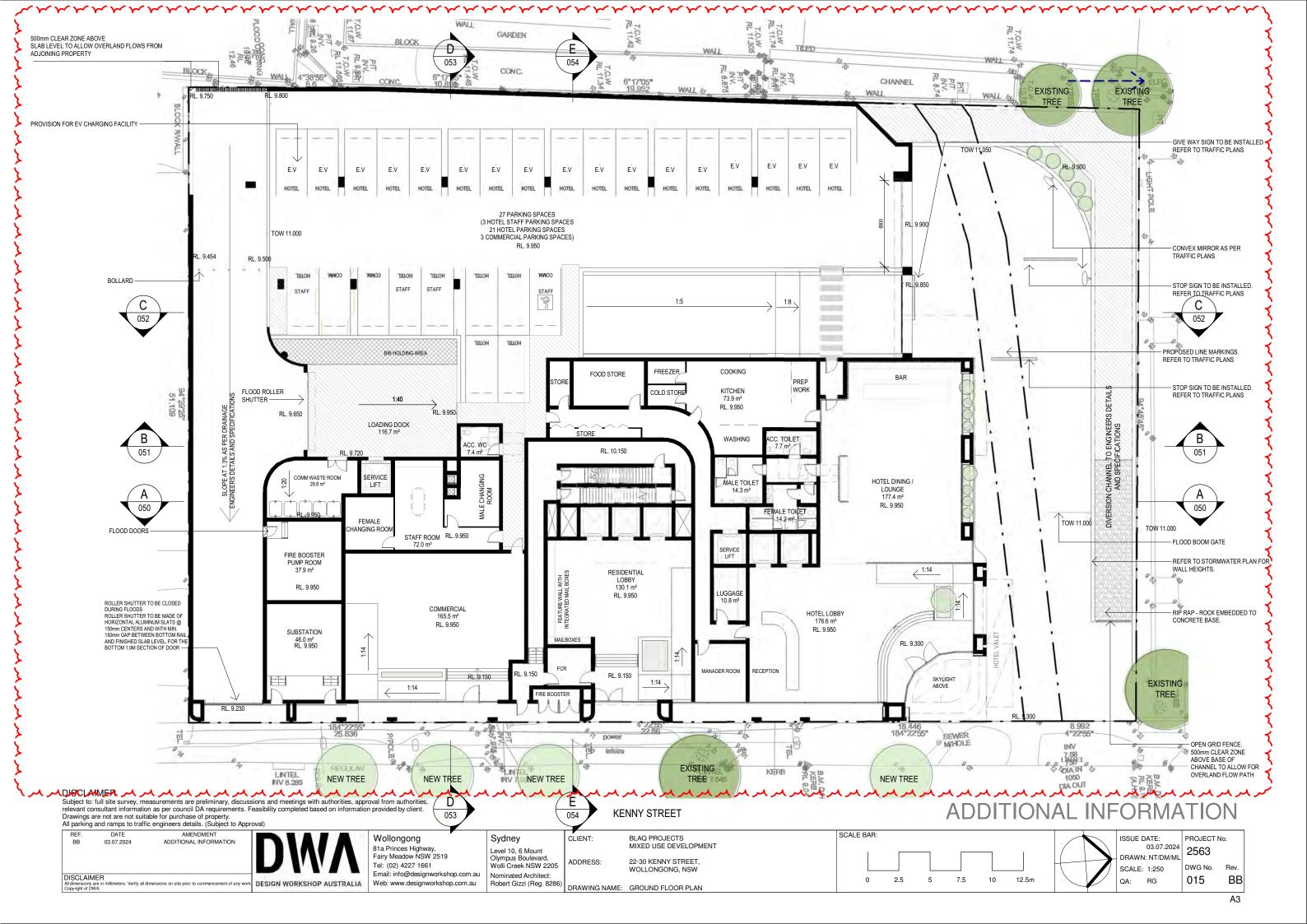
	ISSUE D	DATE: 12.06.2024 : NT / DM	PROJECT N 2563	0.
	SCALE: QA:		DWG No. 011	Rev. AA



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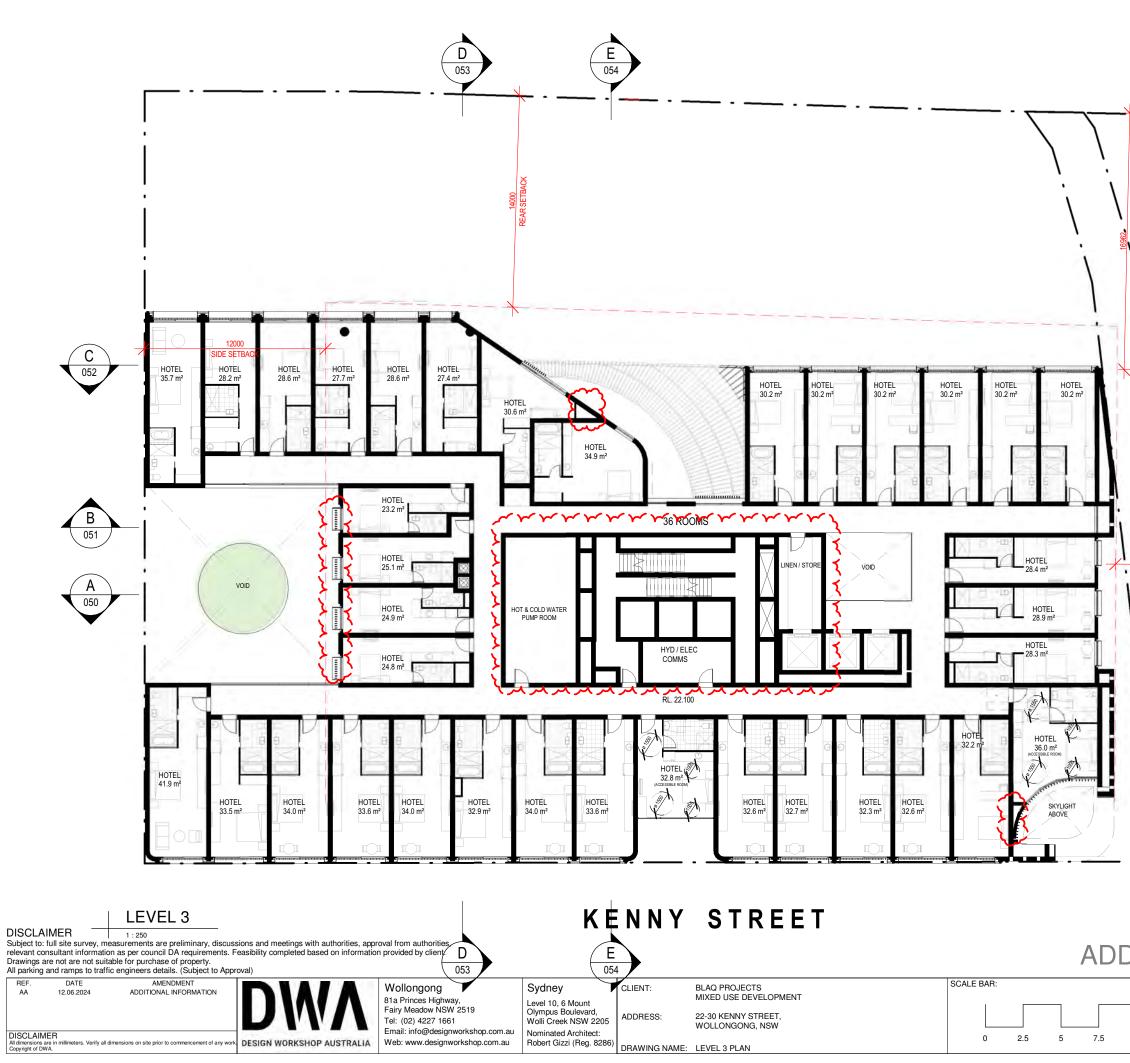


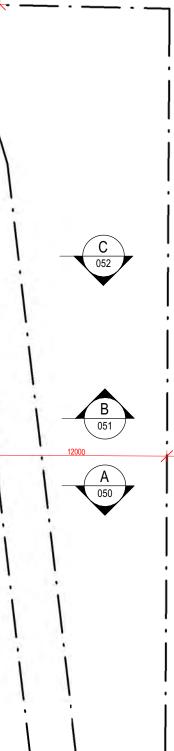


10 12.5m	\bigcirc	ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:250 QA: RG	PROJECT No. 2563 DWG No. Rev. 016 AA
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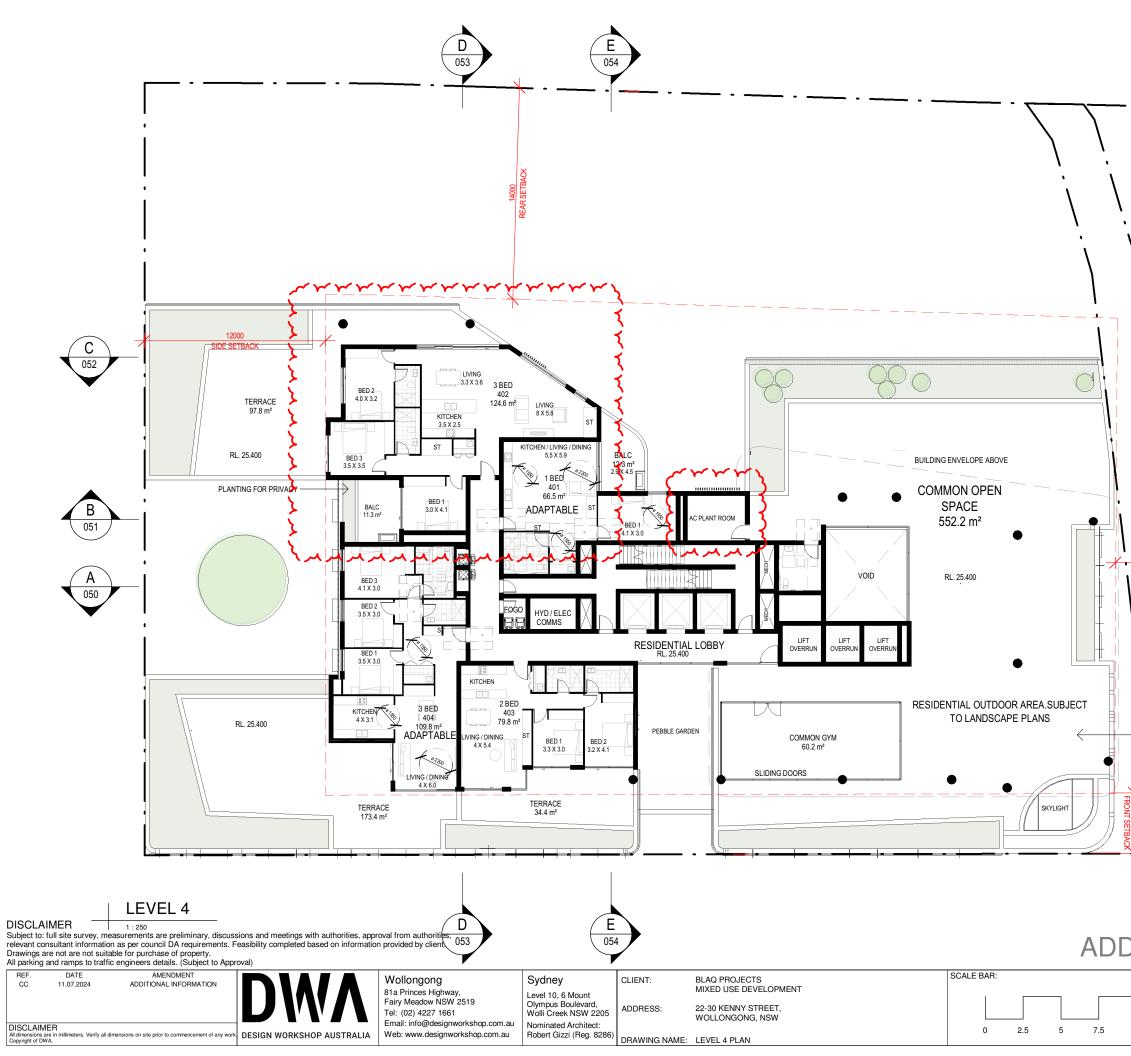


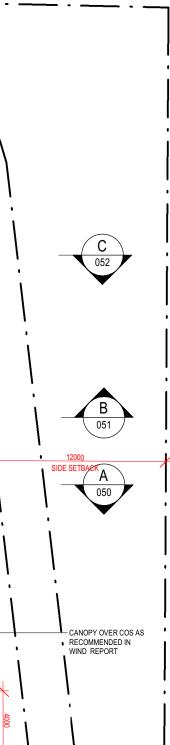
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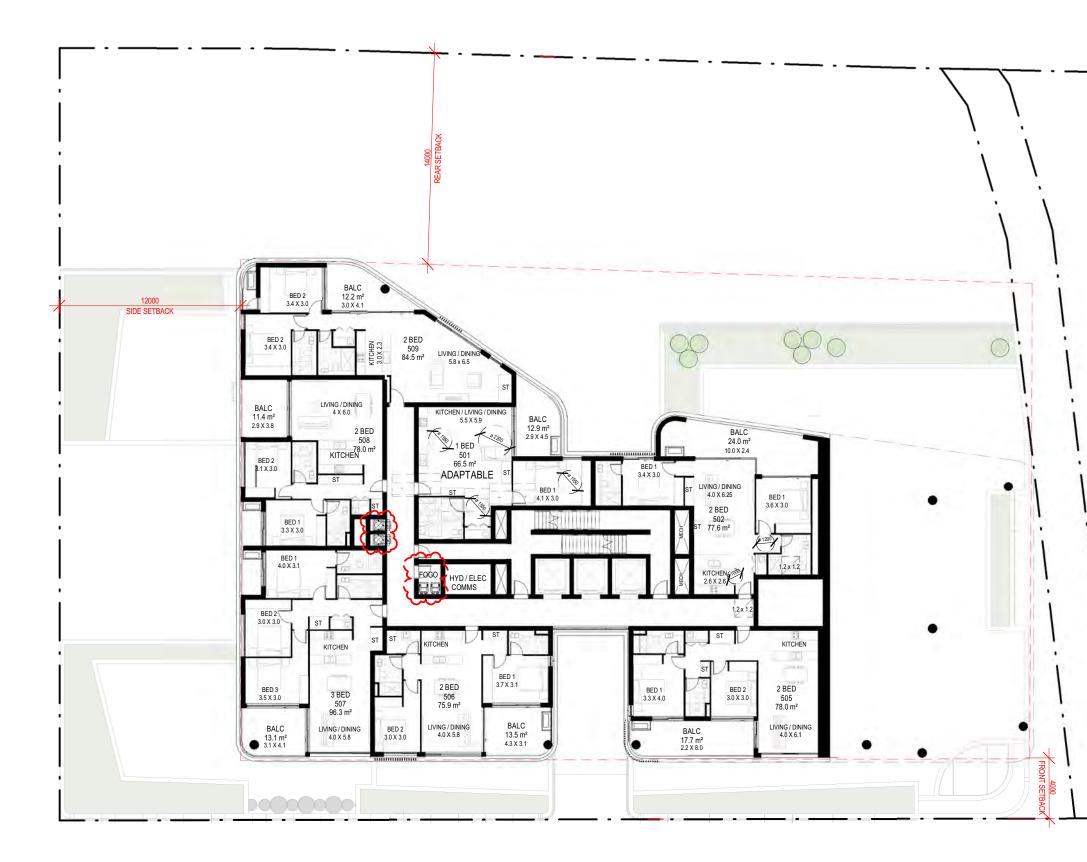


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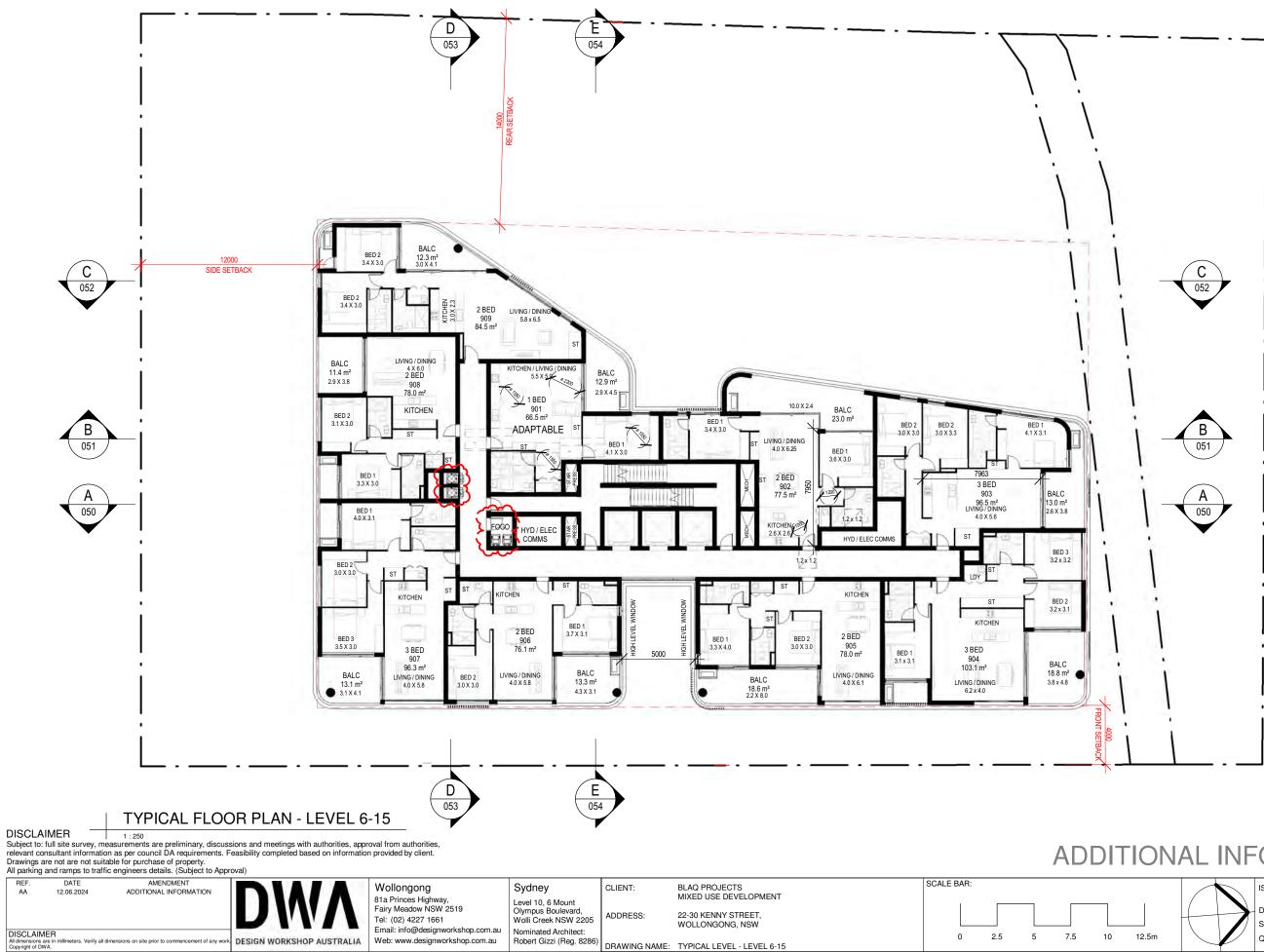
LEVEL 5

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property.

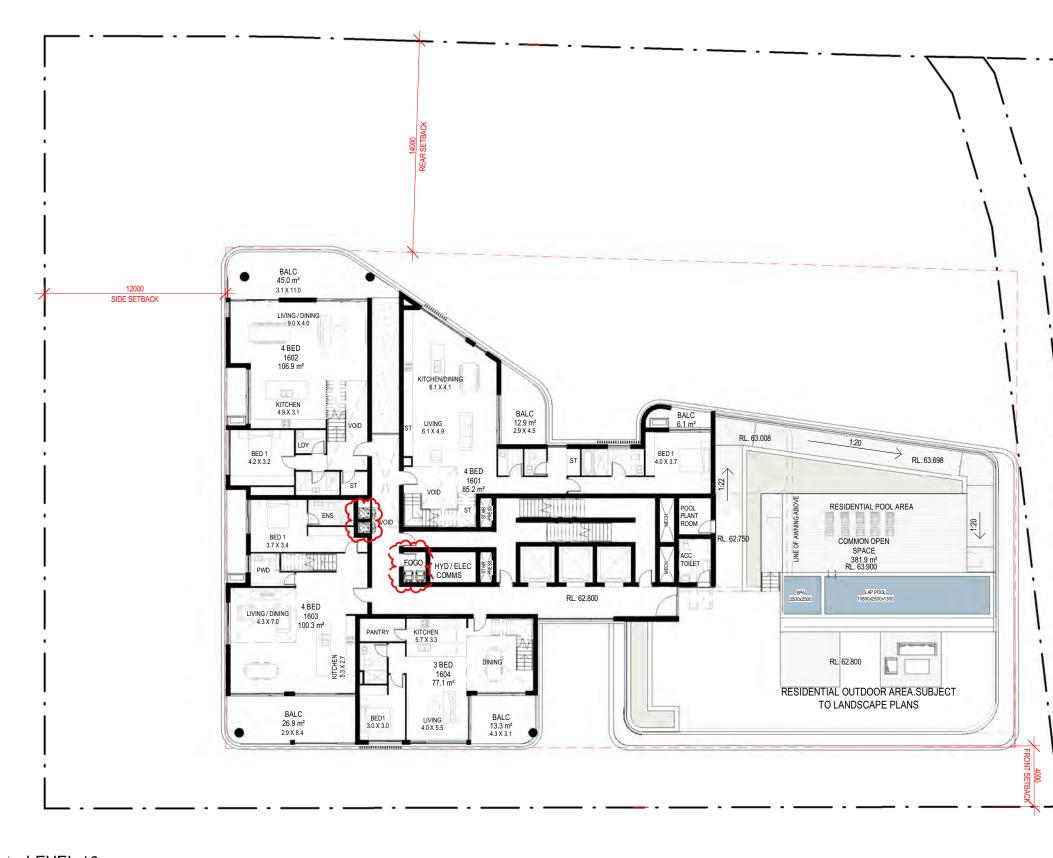
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	
			DWV	81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
DISCLAIM All dimensions a Copyright of DV	are in millimeters. Verify all dim	ensions on site prior to commencement of any work.	DESIGN WORKSHOP AUSTRALIA	Web: www.designworkshop.com.au	Bobert Gizzi (Beg. 8286)	DRAWING NAME:	LEVEL 5 PLAN	



	ISSUE D	ATE: 12.06.2024 : NT/DM/ML	PROJECT N 2563	lo.
	SCALE: QA:	RG	DWG No. 020	Rev. AA



10 12.5m	\bigcirc	ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:250 QA: RG	PROJECT No. 2563 DWG No. Rev. 021 AA	Ň
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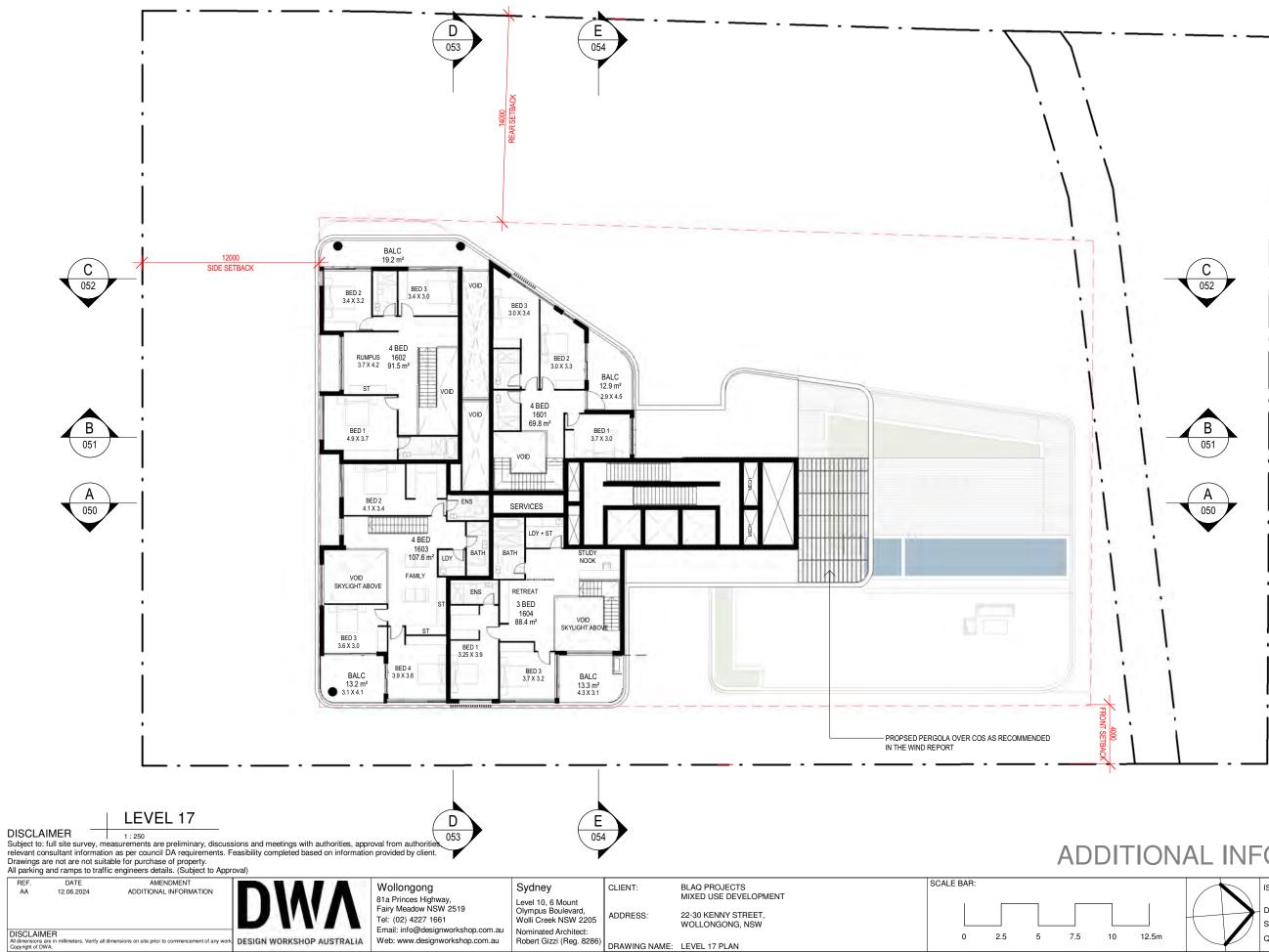
LEVEL 16

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All particing and ramps to traffic engineers details. (Subject to Approval)

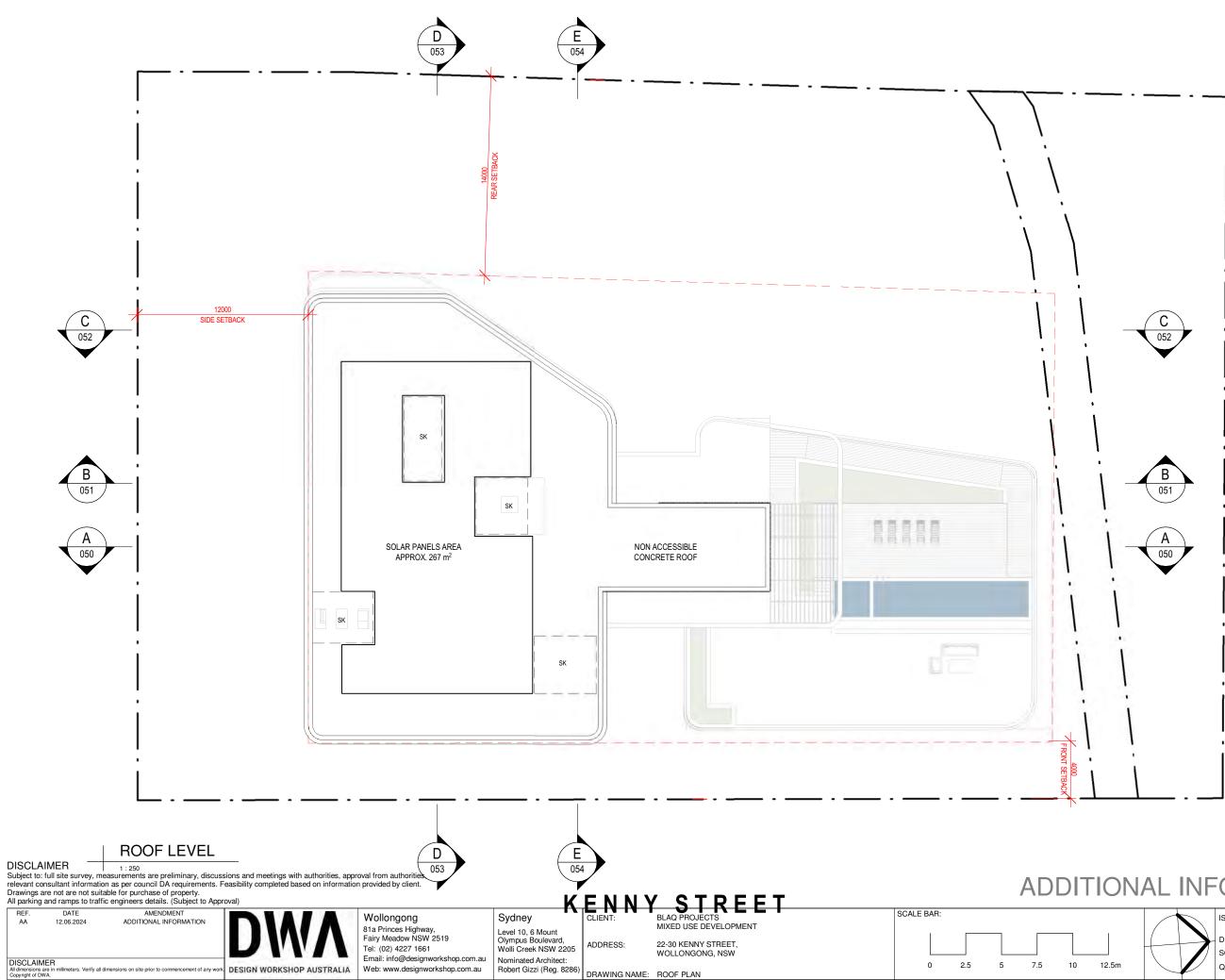
All parking	and ramps to traffic	engineers details. (Subject to Appro	oval)					
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong 81a Princes Highway,	Sydney Level 10, 6 Mount	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	
			DWM	Fairy Meadow NSW 2519 Tel: (02) 4227 1661	Olympus Boulevard, Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
DISCLAIN All dimensions Copyright of D	are in millimeters. Verify all dime	ensions on site prior to commencement of any work.	DESIGN WORKSHOP AUSTRALIA	Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Nominated Architect: Robert Gizzi (Reg. 8286)	DRAWING NAME:		



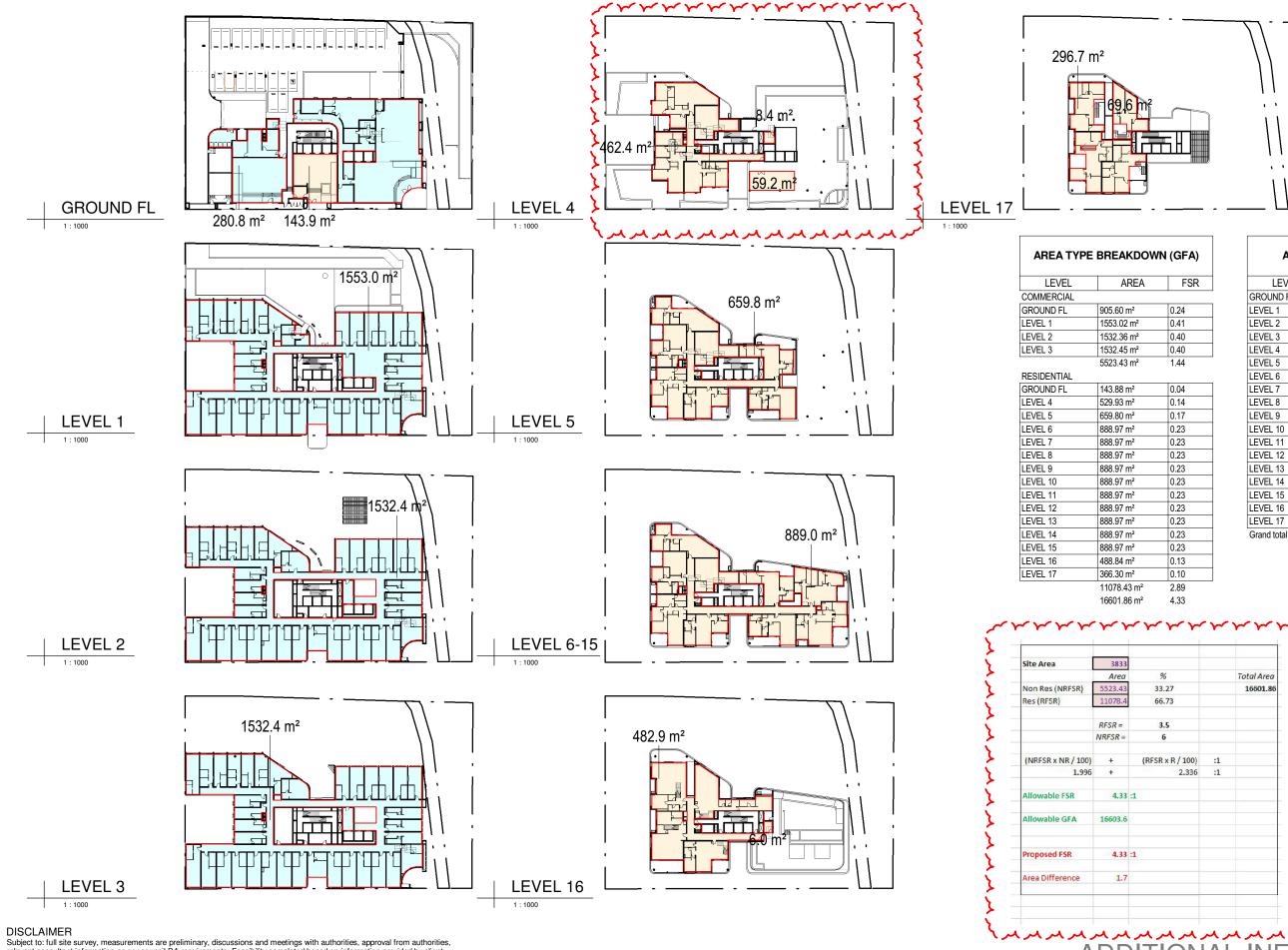
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	SCALE: QA:	RG	DWG №. 022	Rev. AA



10 12.5m		ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:250 QA: RG	PROJECT No. 2563 DWG No. Rev. 023 AA	
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10 12.5m QA: RG 024 AA	10 12.5m	\bigcirc	ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:250 QA: RG	2563 DWG No. Rev.
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Prevent consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property.

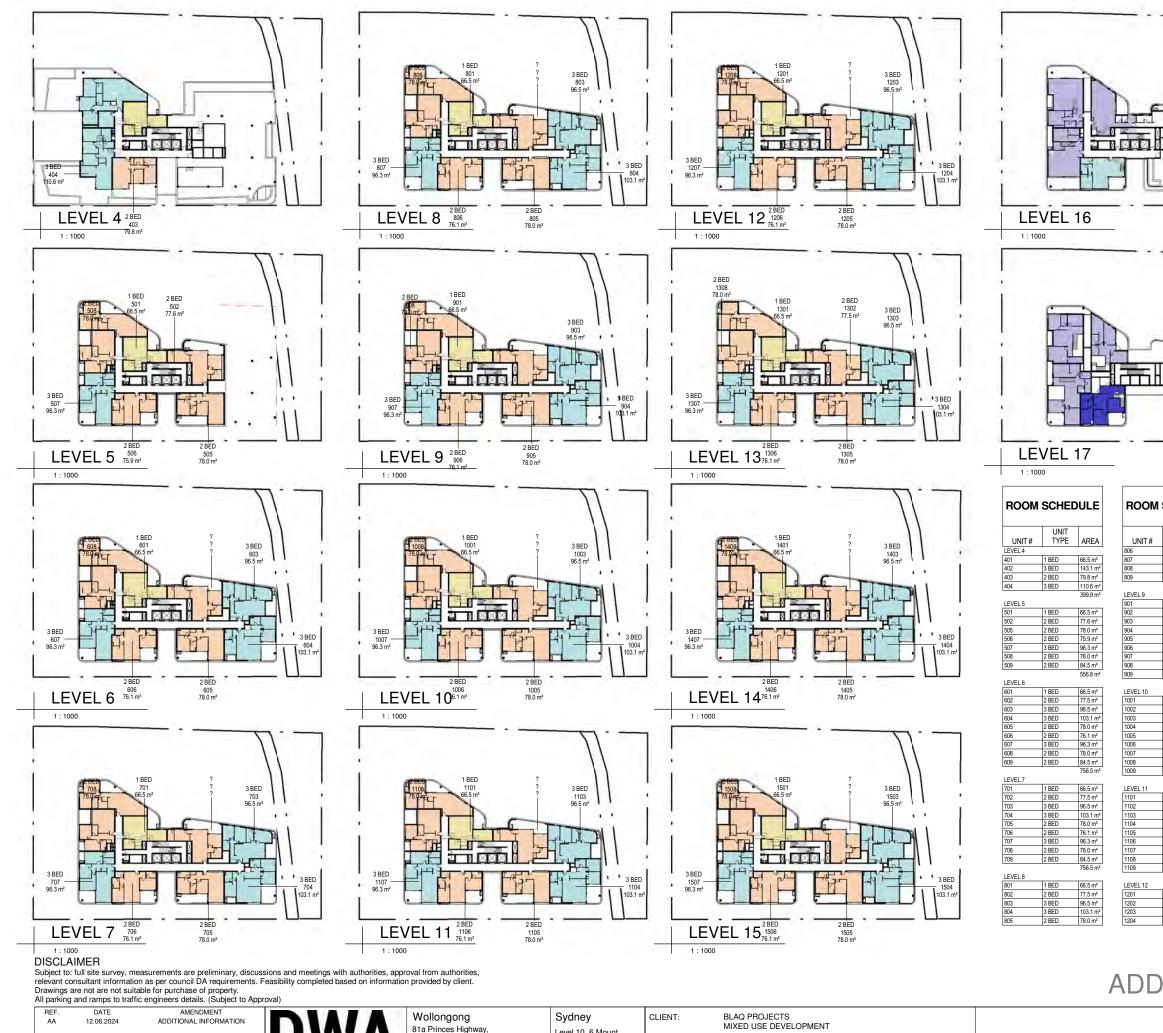
All parkin	g and ramps to traine	engineers details. (Subject to Appr	uvai)					
REF. CC	DATE 11.07.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong 81a Princes Highway,	Sydney Level 10, 6 Mount	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	
				Fairy Meadow NSW 2519 Tel: (02) 4227 1661	Olympus Boulevard, Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
DISCLAI All dimension Copyright of	is are in millimeters. Verify all di	mensions on site prior to commencement of any work.	DESIGN WORKSHOP AUSTRALIA	Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Nominated Architect: Robert Gizzi (Reg. 8286)	DRAWING NAME:	GFA PLANS	

REA	FSR
n²	0.24
m²	0.41
m²	0.40
m²	0.40
m²	1.44
n²	0.04
n²	0.14
n²	0.17
n²	0.23
n²	0.23

LEVEL	AREA	FSR			
GROUND FL	1049.48 m ²	0.27			
LEVEL 1	1553.02 m ²	0.41			
LEVEL 2	1532.36 m ²	0.40			
LEVEL 3	1532.45 m ²	0.40			
LEVEL 4	529.93 m ²	0.14			
LEVEL 5	659.80 m ²	0.17			
LEVEL 6	888.97 m ²	0.23			
LEVEL 7	888.97 m ²	0.23			
LEVEL 8	888.97 m ²	0.23			
LEVEL 9	888.97 m ²	0.23			
LEVEL 10	888.97 m ²	0.23			
LEVEL 11	888.97 m ²	0.23			
LEVEL 12	888.97 m ²	0.23			
LEVEL 13	888.97 m ²	0.23			
LEVEL 14	888.97 m ²	0.23			
LEVEL 15	888.97 m ²	0.23			
LEVEL 16	488.84 m²	0.13			
LEVEL 17	366.30 m ²	0.10			
Grand total	16601.86 m ²	4.33			

	Total Area
	16601.86
:1	
:1	

	ISSUE D	OATE: 11.07.2024 : NT/DM/ML	PROJECT N	0.
	SCALE: QA:	RG	DWG No. 025	Rev.



Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205

Robert Gizzi (Reg. 8286)

Nominated Architect:

ADDRESS

DRAWING NAME: UNIT KEY PLAN

22-30 KENNY STREET WOLLONGONG, NSW

81a Princes Highway

Tel: (02) 4227 1661

airy Meadow NSW 2519

Email: info@designworkshop.com.au

Web: www.designworkshop.com.au

12.06.2024

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DESIGN WORKSHOP AUSTRALIA

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	PE SCHEDULE
TYPES	NO OF ROOMS
1 BED	12
2 BED	56
3 BED	34
4 BED	3
TOTAL	105

SCHED	ULE	
UNIT		
TYPE	AREA	
2 BED	76.1 m ²	
3 BED	96.3 m²	
2 BED	78.0 m²	
2 BED	84.5 m²	
	756.5 m²	
1 BED	66.5 m²	
2 BED	77.5 m²	
3 BED	96.5 m²	
3 BED	103.1 m²	
2 BED	78.0 m ²	
2 BED	76.1 m²	

		756.5 m²
_	1 050	005 1
	1 BED	66.5 m²
	2 BED	77.5 m²
	3 BED	96.5 m²
	3 BED	103.1 m²
	2 BED	78.0 m²
	2 BED	76.1 m²
	3 BED	96.3 m²
	2 BED	78.0 m²
	2 BED	84.5 m²
		756.5 m²

78.0 m²

84.5 m²

1 BED	66.5 m²
2 BED	77.5 m²
3 BED	96.5 m ²
3 BED	103.1 m²
2 BED	78.0 m ²
2 BED	76.1 m²
3 BED	96.3 m²
2 BED	78.0 m ²
2 BED	84.5 m²
	756.5 m²

77.5 m² 96.5 m²

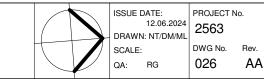
UNIT#	UNIT TYPE	AREA
1205	2 BED	78.0 m ²
1206	2 BED	76.1 m ²
1207	3 BED	96.3 m ²
1208	2 BED	78.0 m ²
1209	2 BED	84.5 m ²
LEVEL 13		756.5 m
1301	1 BED	66.5 m ²
1302	2 BED	77.5 m ²
1302	3 BED	96.5 m ²
1304	3 BED	103.1 m
1305	2 BED	78.0 m ²
1306	2 BED	76.1 m ²
1307	3 BED	96.3 m ²
1308	2 BED	78.0 m ²
1309	2 BED	84.5 m ²
LEVEL 14 1401	1 BED	66.5 m ²
1401	1 BED	66.5 m²
1402	2 BED	77.5 m²
1403	3 BED	96.5 m²
1404	3 BED	103.1 m
1405	2 BED	78.0 m ²
1406	2 BED	76.1 m ²
1407	3 BED	96.3 m²
1408	2 BED	78.0 m ²
1409	2 BED	84.5 m²
LEVEL 15		756.5 m
1501	1 BED	66.5 m²
1502	2 BED	77.5 m²
1503	3 BED	96.5 m²
1504	3 BED	103.1 m
1505	2 BED	78.0 m ²
1506	2 BED	76.1 m ²
1507	3 BED	96.3 m²
1508	2 BED	78.0 m ²
1509	2 BED	84.5 m²
		756.5 m
		0501.0

ROOM SCHEDULE

ROOM SCHEDULE (LEVEL 16 & 17)							
	UNIT						
UNIT#	TYPE	AREA					
1601							
1601	4 BED	85.2 m ²					
1601	4 BED	69.8 m ²					
		155.1 m ²					
1602							
1602	4 BED	106.9 m ²					
1602	4 BED	91.5 m²					
		198.4 m ²					
1603							
1603	4 BED	100.3 m ²					
1603	4 BED	107.6 m ²					
	•	207.9 m ²					
1604							
1604	3 BED	77.1 m²					
1604	3 BED	88.4 m²					
		165.6 m ²					
		726.9 m ²					

ADDITIONAL INFORMATION

8521.8 m²



STORAGE SCHEDULE	STORAGE SCHEDULE	STORAGE SCHEDULE	STORAGE SCHEDULE	STORAGE SCHEDULE	STC
TYPE D W H VOL	TYPE D W H VOL	TYPE D W H VOL	TYPE D W H VOL	TYPE D W H VOL	Т
401 1 BED BASEMENT 2 STORE (BASEMENT) 500 2198 2600 2.86 m ³ LEVEL 4 STORE (INTERNAL) 700 1460 2700 2.76 m ³ LEVEL 4 STORE (INTERNAL) 500 1600 2700 2.16 m ³ 7.78 m ³	606 2 BED BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m ³ LEVEL 6 STORE (INTERNAL) 600 1500 2700 2.43 m ³ LEVEL 6 STORE (INTERNAL) 600 1600 2700 2.59 m ³ 9.07 m ³	804 3 BED LEVEL 8 STORE (INTERNAL) 4233 650 2700 7.43 m ³ LEVEL 8 STORE (INTERNAL) 1000 705 2700 1.90 m ³ LEVEL 8 STORE (INTERNAL) 400 1048 2700 1.13 m ³ 0.46 m ³ 805 10.46 m ³ 10.46 m ³ 10.46 m ³	1002 2 BED BASEMENT 2 STORE (BASEMENT) 673 1800 2700 3.27 m ³ LEVEL 10 STORE (INTERNAL) 600 1900 2700 3.08 m ³ LEVEL 10 STORE (INTERNAL) 500 900 2700 1.22 m ³ 7.57 m ³	1109 2 BED BASEMENT 1 STORE (BASEMENT) 940 1550 2700 3.93 m ³ LEVEL 11 STORE (INTERNAL) 850 1840 2700 4.22 m ³ 1201 1 BED	1307 3 BED BASEMENT 2 STORE (B LEVEL 13 STORE (IN LEVEL 13 STORE (IN 1308
3 BED LEVEL 4 STORE (INTERNAL) 1088 1985 2700 5.83 m ³ LEVEL 4 STORE (INTERNAL) 850 1995 2700 4.58 m ³ 10.41 m ³ 403 2 BED	3 BED BASEMENT 1 STORE (BASEMENT) 1100 1450 2600 4.15 m ³ LEVEL 6 STORE (INTERNAL) 850 1250 2700 2.87 m ³ LEVEL 6 STORE (INTERNAL) 800 1500 2700 3.24 m ³ 10.26 m ³	2 BED BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m³ LEVEL 8 STORE (INTERNAL) 850 1620 2700 3.72 m³ LEVEL 8 STORE (INTERNAL) 1000 600 2700 1.62 m³ 9.39 m³ 806	3 BED BASEMENT 2 STORE (BASEMENT) 1020 875 2700 2.41 m ³ LEVEL 10 STORE (INTERNAL) 550 1190 2700 1.77 m ³ LEVEL 10 STORE (INTERNAL) 1590 1200 2.51 m ³ LEVEL 10 STORE (INTERNAL) 1590 1200 2.51 m ³ LEVEL 10 STORE (INTERNAL) 600 590 2400 0.88 m ³ 10.18 m ³	BASEMENT 1 STORE (BASEMENT) 1000 1195 2600 3.11 m³ LEVEL 12 STORE (INTERNAL) 700 1460 2700 2.76 m³ LEVEL 12 STORE (INTERNAL) 500 1600 2700 2.16 m³ 1202 8.03 m³ 2 8.03 m³	2 BED BASEMENT 2 STORE (B LEVEL 13 STORE (IN LEVEL 13 STORE (IN 1309
BASEMENT 1 STORE (BASEMENT) 1080 1262 2700 3.68 m² LEVEL 4 STORE (INTERNAL) 600 3600 2700 5.58 m² 404 SED 510RE (BASEMENT) 673 2379 2700 4.33 m² BASEMENT 2 STORE (BASEMENT) 673 2379 2700 4.33 m²	2 BED BASEMENT 2 STORE (BASEMENT) 936 2601 2700 6.57 m ³ LEVEL 6 STORE (INTERNAL) 1050 736 2700 2.09 m ³ LEVEL 6 STORE (INTERNAL) 600 2950 2700 4.78 m ³ 13.44 m ³	2 BED BASEMENT 2 STORE (BASEMENT) 1000 2600 2700 7.02 m ³ LEVEL 8 STORE (INTERNAL) 600 1500 2700 2.43 m ³ LEVEL 8 STORE (INTERNAL) 600 1600 2700 2.59 m ³ 12.04 m ³	1004 3 BED LEVEL 10 STORE (INTERNAL) 4233 650 2700 7.43 m ³ LEVEL 10 STORE (INTERNAL) 1000 705 2700 1.90 m ³ LEVEL 10 STORE (INTERNAL) 1000 1048 2700 1.13 m ³ LEVEL 10 STORE (INTERNAL) 400 1048 2700 1.04 m ³	BASEMENT 2 [STORE (BASEMENT) 1000 1500 2700 4.05 m² LEVEL 12 STORE (INTERNAL) 600 1900 2700 3.08 m² LEVEL 12 STORE (INTERNAL) 500 900 2700 1.22 m² 1203 38 BED 8.34 m²	2 BED BASEMENT 1 STORE (B LEVEL 13 STORE (I) 1401 1 BED
LEVEL 4 STORE (INTERNAL) 600 1200 2700 1.94 m³ LEVEL 4 STORE (INTERNAL) 700 1983 2700 3.75 m³ 501 10.02 m³ 1 BED BASEMENT 2 STORE (BASEMENT) 500 1710 2600 2.22 m³ LEVEL 5 STORE (INTERNAL) 700 1460 2700 2.76 m³	2 BED BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m³ LEVEL 6 STORE (INTERNAL) 850 1840 2700 4.22 m³ 8.27 m³ 701 1 BED BASEMENT 1 STORE (BASEMENT) 1100 1095 2600 3.13 m³	3 BED BASEMENT 2 STORE (BASEMENT) 1000 2585 2600 6.72 m ³ LEVEL 8 STORE (INTERNAL) 850 1250 2700 2.87 m ² LEVEL 8 STORE (INTERNAL) 800 1500 2700 3.24 m ³ 12.83 m ³ 808 2 BED	1005 2 BED BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m ² LEVEL 10 STORE (INTERNAL) 850 1620 2700 3.72 m ² LEVEL 10 STORE (INTERNAL) 1000 600 2700 1.62 m ² 9.39 m ³ 1006 4.05 m ² 100 100 100 100	BASEMENT 2 STORE (BASEMENT) 938 259 2700 6.57 m³ LEVEL 12 STORE (INTERNAL) 550 1190 2700 1.77 m³ LEVEL 12 STORE (INTERNAL) 1500 1200 2700 6.51 m³ LEVEL 12 STORE (INTERNAL) 600 590 2400 0.85 m³ 1204 3 BED 3 BED </td <td>BASEMENT 1 STORE (B LEVEL 14 STORE (IN LEVEL 14 STORE (IN 1402 2 BED BASEMENT 2 STORE (B</td>	BASEMENT 1 STORE (B LEVEL 14 STORE (IN LEVEL 14 STORE (IN 1402 2 BED BASEMENT 2 STORE (B
LEVEL 3 STORE (INTERNAL) 700 1400 2700 2.16 m² LEVEL 5 STORE (INTERNAL) 500 1600 2700 2.16 m² 502 7.14 m² 2 2 2 2 2 2 BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m² LEVEL 5 STORE (INTERNAL) 600 1900 2700 3.08 m²	BAGE/MENT J STORE (BASEMENT) THOU TIGS 2000 2.15 m² LEVEL 7 STORE (INTERNAL) 700 1460 2700 2.16 m² LEVEL 7 STORE (INTERNAL) 500 1600 2700 2.16 m² 702 2 BED BASEMENT 2 ISTORE (BASEMENT) 866 1730 2700 4.05 m²	2 BEC 2 STORE (BASEMENT) 1000 1100 2700 2.97 m³ LEVEL.8 STORE (INTERNAL) 1050 736 2700 2.09 m³ LEVEL.8 STORE (INTERNAL) 060 2950 2700 4.78 m³ 809 9.84 m³ 9.84 m³ 2 BED 100 100 100 100	BASEMENT 2 STORE (BASEMENT) 954 2400 2700 6.18 m ² LEVEL 0 STORE (INTERNAL) 600 1500 2700 2.43 m ² LEVEL 10 STORE (INTERNAL) 600 1600 2700 2.59 m ² 1007 11.20 m ³	SecD 2 STORE (INTERNAL) 4233 650 2700 7.43 m ⁹ LEVEL 12 STORE (INTERNAL) 1000 705 2700 1.90 m ³ LEVEL 12 STORE (INTERNAL) 1000 705 2700 1.13 m ³ LEVEL 12 STORE (INTERNAL) 400 1048 2700 1.13 m ³ 1205 10.46 m ³ 2 2 5 0 10.46 m ³	LEVEL 14 STORE (IN LEVEL 14 STORE (IN LEVEL 14 STORE (IN 1403 3 BED BASEMENT 2 STORE (B.
LEVEL 5 STORE (INTERNAL) 500 900 2700 1.22 m ³ 505 8.34 m ³ 8.34 m ³ 8.34 m ³ 9.00 1.00 1.500 2.00 1.00	LEVEL 7 STORE (INTERNAL) 600 1900 2700 3.08 m³ LEVEL 7 STORE (INTERNAL) 500 900 2700 1.22 m³ 703 8.34 m³ 3 BED BASEMENT 2 STORE (BASEMENT) 1000 920 2700 2.48 m³	BASEMENT 2 STORE (BASEMENT) 1641 1000 2700 4.43 m ³ LEVEL 8 STORE (INTERNAL) 850 1840 2700 4.22 m ³ 901 8.65 m ³ 1 BED BASEMENT 1 STORE (BASEMENT) 1506 1002 2600 3.93 m ³	3BED BASEMENT I STORE (BASEMENT) 1450 760 2600 2.87 m ³ LEVEL 10 STORE (INTERNAL) 850 1250 2700 2.87 m ³ LEVEL 10 STORE (INTERNAL) 800 1500 2700 3.24 m ³ 8.97 m ³	BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m³ LEVEL 12 STORE (INTERNAL) 850 1620 2700 3.72 m³ LEVEL 12 STORE (INTERNAL) 1000 600 2700 1.62 m³ 1206 9.39 m³ 2 8ED 1000 100 1000 1000	LEVEL 14 STORE (IN LEVEL 14 STORE (IN LEVEL 14 STORE (IN LEVEL 14 STORE (IN 1404 3 BED
LEVEL 5 STORE (INTERNAL) 1000 600 2700 1.62 m ³ 506 9.38 m ³ 2 BED BASEMENT 2 STORE (BASEMENT) 673 1800 2700 3.27 m ³ LEVEL 5 STORE (INTERNAL) 600 1500 2700 3.27 m ³	LEVEL 7 STORE (INTERNAL) 550 1190 2700 1.77 m ³ LEVEL 7 STORE (INTERNAL) 1590 1200 2700 5.15 m ³ LEVEL 7 STORE (INTERNAL) 1590 1200 200 0.85 m ³ LEVEL 7 STORE (INTERNAL) 600 590 2400 0.85 m ³ 704 3 3 BED 3 10.25 m ³	LEVEL 9 STORE (INTERNAL) 700 1460 2700 2.76 m ³ LEVEL 9 STORE (INTERNAL) 500 1600 2700 2.16 m ³ 902 8.85 m ³ 2BD 8.85 m ³ BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m ³	2 BED BASEMENT 2 STORE (BASEMENT) 1000 2582 2700 7.00 m ³ LEVEL 10 STORE (INTERNAL) 1050 736 2700 2.09 m ³ LEVEL 10 STORE (INTERNAL) 600 2950 2700 4.78 m ³ 1009 STORE STORE (INTERNAL) 600 2950 200 13.87 m ³	BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m³ LEVEL 12 STORE (INTERNAL) 600 1500 2700 2.43 m³ LEVEL 12 STORE (INTERNAL) 600 1600 2700 2.58 m³ LEVEL 12 STORE (INTERNAL) 600 1600 2700 9.07 m³ 1207 3 BED 3 50 50 50 50	LEVEL 14 STORE (IN LEVEL 14 STORE (IN LEVEL 14 STORE (IN 1405 2 BED
LEVEL 5 STORE (INTERNAL) 600 1600 2700 2.59 m ³ 507 8.29 m ³ 8.29 m ³ 8.29 m ³ 3 BED BASEMENT 1 STORE (BASEMENT) 1100 1405 2600 4.02 m ³ LEVEL 5 STORE (INTERNAL) 850 1250 2700 2.87 m ³	LEVEL 7 STORE (INTERNAL) 4233 650 2700 7,43 m ³ LEVEL 7 STORE (INTERNAL) 1000 705 2700 1,90 m ³ LEVEL 7 STORE (INTERNAL) 400 1048 2700 1,13 m ³ T05 2 10.46 m ³ 2 10.46 m ³	LEVEL 9 STORE (INTERNAL) 600 1900 2700 3.08 m ³ LEVEL 9 STORE (INTERNAL) 500 900 2700 1.22 m ³ 903 8.34 m ³ 3 BED BASEMENT 2 STORE (BASEMENT) 760 1560 2700 3.20 m ³	2 BED BASEMENT 2 STORE (BASEMENT) 1000 2600 2600 6.76 m ³ LEVEL 10 STORE (INTERNAL) 850 1840 2700 4.22 m ³ 10.96 m ³ 1011 1 BED	BASEMENT 2 STORE (BASEMENT) 1000 2600 12700 7.02 m² LEVEL 12 STORE (INTERNAL) 850 1250 2700 2.87 m² LEVEL 12 STORE (INTERNAL) 800 1500 2700 3.24 m² 1208 13.13 m² 2 BED 13.13 m² 13.13 m²	BASEMENT 2 STORE (B LEVEL 14 STORE (IN LEVEL 14 STORE (IN 1406 2 BED
LEVEL 5 STORE (INTERNAL) 800 1500 2700 3.24 m ³ 508 10.13 m ³ 10.3 m ³ 10.3 m ³ 10.13 m ³ 10.13 m ³ 2 BED BASEMENT 2 STORE (BASEMENT) 1000 2615 2700 7.06 m ³ LEVEL 5 STORE (INTERNAL) 1050 736 2700 2.08 m ³	BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m ³ LEVEL 7 STORE (INTERNAL) 850 1620 2700 3.72 m ³ LEVEL 7 STORE (INTERNAL) 1000 600 2700 1.62 m ³ LEVEL 7 STORE (INTERNAL) 1000 600 2700 1.62 m ³ 706 9.39 m ³ 9.39 m ³ 2 BED 3.00 m ³ 3.00 m ³	LEVEL 9 STORE (INTERNAL) 550 1190 2700 1.77 m ³ LEVEL 9 STORE (INTERNAL) 1590 1200 2700 5.15 m ³ LEVEL 9 STORE (INTERNAL) 1590 1200 2.00 0.85 m ³ LEVEL 9 STORE (INTERNAL) 600 590 2400 0.85 m ³ 904 3 BED 3 3 3 3 3 3	BASEMENT 1 ISTORE (BASEMENT) 1096 1195 2600 3.41 m ³ LEVEL 11 STORE (INTERNAL) 700 1460 2700 2.76 m ³ LEVEL 11 STORE (INTERNAL) 500 1600 2700 2.16 m ³ LEVEL 11 STORE (INTERNAL) 500 1600 2700 8.32 m ³ 1102 2 8.32 m ³ 2 8.20 3	BASEMENT 2 STORE (BASEMENT) 1000 2608 2700 7.04 m ³ LEVEL 12 STORE (INTERNAL) 1050 7.36 2700 2.09 m ³ LEVEL 12 STORE (INTERNAL) 600 2950 2700 4.78 m ³ LEVEL 12 STORE (INTERNAL) 600 2950 2700 13.91 m ³ 1209 2 BED 13.91 m ³ 13.91 m ³ 13.91 m ³ 13.91 m ³	BASEMENT 2 STORE (B LEVEL 14 STORE (IN LEVEL 14 STORE (IN 1407 3 BED
LEVEL 5 STORE (INTERNAL) 600 2950 2700 4.78 m ³ 509 2 BED 13.93 m ³ 9 9 9 9 14.05 m ³ <	BASEMENT 2 STORE (BASEMENT) 1000 2600 2700 7.02 m² LEVEL 7 STORE (INTERNAL) 600 1500 2700 2.43 m² LEVEL 7 STORE (INTERNAL) 600 1600 2700 2.43 m² LEVEL 7 STORE (INTERNAL) 600 1600 2700 2.49 m² 707 3 BED 12.04 m² 12.04 m² 12.04 m²	LEVEL 9 STORE (INTERNAL) 4233 650 2700 7,43 m ² LEVEL 9 STORE (INTERNAL) 1000 705 2700 1,90 m ³ LEVEL 9 STORE (INTERNAL) 400 1048 2700 1.13 m ³ 905 2 BD 400 1048 10.46 m ³ 10.46 m ³	BASEMENT 2 [STORE (BASEMENT) 1000 1660 2700 4.21 m² LEVEL 11 STORE (INTERNAL) 600 1900 2700 3.88 m² LEVEL 11 STORE (INTERNAL) 500 900 2700 1.22 m² 103 3 BED 3 BED 3 BED 3 BED 3 BED 3 BED	BASEMENT 2 STORE (BASEMENT) 1000 2600 6.76 m³ LEVEL 12 STORE (INTERNAL) 850 1840 2700 4.22 m³ 1301 10.98 m³ 10.98 m³ 1 BED BASEMENT 1 STORE (BASEMENT) 1100 1195 2600 3.11 m³	BASEMENT 2 STORE (B LEVEL 14 STORE (IN LEVEL 14 STORE (IN LEVEL 14 STORE (IN 1408 2 BED
601 8.27 m ³ BASEMENT 1 STORE (BASEMENT) 1100 1095 2600 3.13 m ³ LEVEL 6 STORE (INTERNAL) 700 1460 2700 2.76 m ³ LEVEL 6 STORE (INTERNAL) 500 1600 2700 2.16 m ³	BASEMENT 1 STORE (BASEMENT) 1730 1041 2700 4.86 m² LEVEL 7 STORE (INTERNAL) 850 1250 2700 2.87 m² LEVEL 7 STORE (INTERNAL) 800 1500 2700 3.24 m² LEVEL 7 STORE (INTERNAL) 800 1500 2700 3.24 m² 10.97 m² 3.24 m² 10.97 m² 10.97 m² 10.97 m²	BASEMENT 2 STORE (BASEMENT) 1000 2600 2700 7.02 m² LEVEL 9 STORE (INTERNAL) 850 1620 2700 3.72 m² LEVEL 9 STORE (INTERNAL) 1000 600 2700 1.62 m² 906 2 BD 2 2 1.62 m² 12.36 m²	BASEMENT 2 [STORE (BASEMENT) 1120 920 2700 2.53 m² LEVEL 11 STORE (INTERNAL) 550 1190 2700 1.57 m² LEVEL 11 STORE (INTERNAL) 550 1200 2.700 5.15 m² LEVEL 11 STORE (INTERNAL) 600 590 2400 0.85 m² 1104 104 10.30 m² 10.30 m² 10.30 m²	LEVEL 13 STORE (INTERNAL) 700 1460 2700 2.76 m³ LEVEL 13 STORE (INTERNAL) 500 1600 2700 2.16 m³ 1302 8.03 m³ 2.8ED 8.03 m³ 1302 2 BED BASEMENT 2 STORE (BASEMENT) 1000 1560 2700 4.21 m³	BASEMENT 2 STORE (B LEVEL 14 STORE (I) LEVEL 14 STORE (I) LEVEL 14 STORE (I) 1409 2 BED
602 2 BED BASEMENT 2 STORE (BASEMENT) 673 1800 2700 3.27 m ³ LASEMENT 2 STORE (INTERNAL) 600 1900 2700 3.08 m ³ LEVEL 6 STORE (INTERNAL) 500 900 2700 1.22 m ³	BASEMENT 2 [STORE (BASEMENT) 1000 600 2700 1.62 m³ LEVEL 7 STORE (INTERNAL) 1050 736 2700 2.09 m³ LEVEL 7 STORE (INTERNAL) 600 2950 2.09 m³ 8.49 m³ 709 2.8ED	BASEMENT 2 [STORE (BASEMENT) 954 2400 2700 6.18 m³ LEVEL 9 STORE (INTERNAL) 600 1500 2700 2.43 m³ LEVEL 9 STORE (INTERNAL) 600 1600 2700 2.59 m³ 907 11.20 m³ 3 BED 11.20 m³ 11.20 m³	3 BED Level 11 STORE (INTERNAL) 4233 650 2700 7.43 m ³ LEVEL 11 STORE (INTERNAL) 1000 705 2700 1.90 m ³ LEVEL 11 STORE (INTERNAL) 1000 1048 2700 1.13 m ³ LEVEL 11 STORE (INTERNAL) 400 1048 2700 1.04 m ³ 1105	LEVEL 13 STORE (INTERNAL) 600 1900 2700 3.08 m³ LEVEL 13 STORE (INTERNAL) 500 900 2700 1.22 m³ 1303 8.51 m³ 3 BED BASEMENT 2 STORE (BASEMENT) 1000 875 2700 2.36 m³	BASEMENT 1 STORE (B LEVEL 14 STORE (IN 1501 1 BED BASEMENT 1 STORE (B
7.57 m³ 803 3 BED BASEMENT 2 STORE (BASEMENT) 2600 1004 2600 6.79 m³ LEVEL 6 STORE (INTERNAL) 550 1190 2700 1.77 m³ LEVEL 6 STORE (INTERNAL) 1590 1200 2.700 5.15 m³	BASEMENT 2 STORE (BASEMENT) 1000 2598 2700 7.01 m³ LEVEL 7 STORE (INTERNAL) 850 1840 2700 4.22 m³ 801 11.24 m³ 11.24 m³ 11.24 m³ BED BASEMENT 1 STORE (BASEMENT) 764 1750 2600 3.44 m³	BASEMENT 1 STORE (BASEMENT) 1120 1800 2600 5.24 m³ LEVEL 9 STORE (INTERNAL) 850 1250 2700 2.87 m³ LEVEL 9 STORE (INTERNAL) 800 1500 2700 3.24 m³ LEVEL 9 STORE (INTERNAL) 800 1500 2700 3.24 m³ 908 11.35 m³ 908 11.35 m³ 11.35 m³ 11.35 m³	2 BED BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m ³ LEVEL 11 STORE (INTERNAL) 850 1620 2700 3.72 m ³ LEVEL 11 STORE (INTERNAL) 1000 600 2700 1.62 m ³ 9.39 m ³ 1000	LEVEL 13 STORE (INTERNAL) 550 1100 2700 1.77 m² LEVEL 13 STORE (INTERNAL) 1590 1200 2700 6.15 m² LEVEL 13 STORE (INTERNAL) 600 560 2400 0.85 m² LEVEL 13 STORE (INTERNAL) 600 560 2400 10.13 m³ 1304 3 3 5 5 500 100 5	LEVEL 15 STORE (I) LEVEL 15 STORE (I) 1502 2 BED BASEMENT 2 STORE (B
LEVEL 6 STORE (INTERNAL) 600 590 2400 0.85 m ³ 604 14.56 m ³ 3 BED 14.56 m ³ LEVEL 6 STORE (INTERNAL) 4233 650 2700 7.43 m ³ LEVEL 6 STORE (INTERNAL) 1000 705 2700 1.90 m ³	LEVEL 8 STORE (INTERNAL) 700 1460 2700 2.76 m³ LEVEL 8 STORE (INTERNAL) 500 1600 2700 2.16 m³ 802 28D 839 m³ 802 8.39 m³	BASEMENT 2 [STORE (BASEMENT) 1000 1545 2700 4.17 m² LEVEL 9 STORE (INTERNAL) 1050 736 2700 2.09 m² LEVEL 9 STORE (INTERNAL) 600 2960 2700 4.78 m³ 909 11.04 m² 2 BED 11.04 m²	2 BED BASEMENT 2 STORE (BASEMENT) 1000 2400 2700 6.48 m ³ LEVEL 11 STORE (INTERNAL) 600 1500 2700 2.43 m ³ LEVEL 11 STORE (INTERNAL) 600 1600 2700 2.59 m ³ 1107 - 11.50 m ³ 11.50 m ³ 11.50 m ³	LEVEL 13 STORE (INTERNAL) 4233 660 2700 7.43 m² LEVEL 13 STORE (INTERNAL) 1000 705 2700 1.90 m² LEVEL 13 STORE (INTERNAL) 400 1048 2700 1.13 m² 1305 2 BED 10.46 m³ 10.46 m³ 10.46 m³	LEVEL 15 STORE (IN LEVEL 15 STORE (IN 1503 3 BED BASEMENT 2 STORE (B
LEVEL 6 STORE (INTERNAL) 400 1048 2700 1.13 m ³ 605 10.46 m ³ 10.46 m ³ 10.46 m ³ 2 BED BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m ³ LEVEL 6 STORE (INTERNAL) 850 1620 2700 3.72 m ³	LEVEL 8 STORE (INTERNAL) 600 1900 2700 3.08 m ³ } LEVEL 8 STORE (INTERNAL) 500 900 2700 1.22 m ³ } 803 3 BED BASEMENT 2 STORE (BASEMENT) 1000 875 2700 2.36 m ³	BASEMENT 1 STORE (BASEMENT) 940 1550 2700 3.93 m² LEVEL 9 STORE (INTERNAL) 850 1840 2700 4.22 m² 1001 8.16 m² 8.16 m² BED BASEMENT 1 STORE (BASEMENT) 1395 1195 2600 4.33 m²	3 BED BASEMENT 1 STORE (BASEMENT) 1000 2398 2600 6.23 m ³ LEVEL 11 STORE (INTERNAL) 850 1250 2700 2.87 m ³ LEVEL 11 STORE (INTERNAL) 800 1500 2700 3.24 m ³ 12.34 m ³ 1108	BASEMENT 2 STORE (BASEMENT) 1000 1500 2700 4.05 m² LEVEL 13 STORE (INTERNAL) 850 1620 2700 3.72 m² LEVEL 13 STORE (INTERNAL) 1000 600 2700 1.62 m² 1306 2 BED	LEVEL 15 STORE (I) LEVEL 15 STORE (I) LEVEL 15 STORE (I) LEVEL 15 STORE (I) 1504 3 BED
LEVEL 6 STORE (INTERNAL) 1000 600 2700 1.62 m ³ 9.39 m ³	LEVEL 8 STORE (INTERNAL) 550 1190 2700 1.77 m ³ LEVEL 8 STORE (INTERNAL) 1590 1200 2700 5.15 m ³ LEVEL 8 STORE (INTERNAL) 1690 590 2400 0.85 m ³ LEVEL 8 STORE (INTERNAL) 600 590 2400 0.13 m ³	LEVEL 10 STORE (INTERNAL) 700 1460 2700 2.76 m ³ LEVEL 10 STORE (INTERNAL) 500 1600 2700 2.16 m ³ 9.25 m ³	2 BED BASEMENT 2 STORE (BASEMENT) 1020 1332 2700 3.67 m ³ LEVEL 11 STORE (INTERNAL) 1050 736 2700 2.09 m ³ LEVEL 11 STORE (INTERNAL) 600 2950 2700 4.78 m ³ 10.53 m ³ 10.53 m ³ 10.53 m ³ 10.51 m ³ 10.51 m ³	BASEMENT 2 STORE (BASEMENT) 1000 2600 2700 7.02 m³ LEVEL 13 STORE (INTERNAL) 600 1500 2700 2.43 m³ LEVEL 13 STORE (INTERNAL) 600 1600 2700 2.59 m³ LEVEL 13 STORE (INTERNAL) 600 1600 2700 12.04 m³	LEVEL 15 STORE (IN LEVEL 15 STORE (IN LEVEL 15 STORE (IN

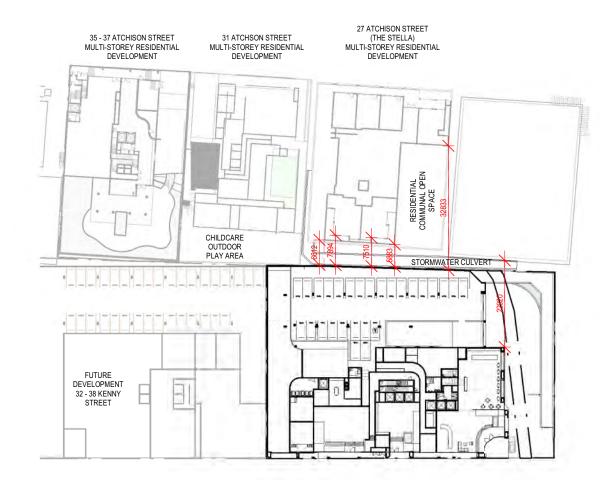
DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

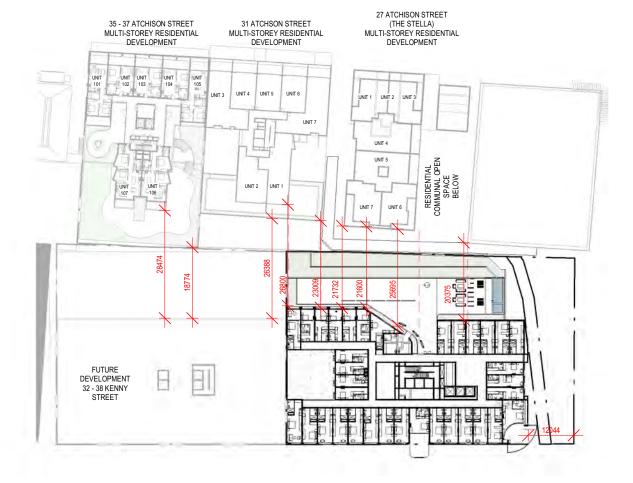
REF. DATE AA 12.06.2024 ADD DISCLAIMER All dimensions are in millimeters. Verify all dimensions on a Copyright of DWA.	AMENDMENT ITIONAL INFORMATION		Wollongong 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Sydney Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	CLIENT: ADDRESS:	BLAQ PROJECTS MIXED USE DEVELOPMENT 22-30 KENNY STREET, WOLLONGONG, NSW : STORAGE SCHEDULE		12.06.2024 N: NT/DM/ML	PROJECT N 2563 DWG No. 027	lo. Rev. AA
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STORAGE SCHEDULE

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	TYPE	D	W	Н	VOL
IT 2	STORE (BASEMENT)	1000	1500	2700	4.05 m ³
	STORE (INTERNAL)	850	1250	2700	2.87 m ³
	STORE (INTERNAL)	800	1500	2700	3.24 m ³ 10.16 m
T 2	STORE (BASEMENT)	1200	1500	2700	4.86 m ³
	STORE (INTERNAL)	1050	736	2700	2.09 m ³
	STORE (INTERNAL)	600	2950	2700	4.78 m ³
					11.73 m
IT 1	STORE (BASEMENT)	1000	2600	2600	6.76 m ³
	STORE (INTERNAL)	850	1840	2700	4.22 m ³
					10.98 m
IT 1	STORE (BASEMENT) STORE (INTERNAL)	1000 700	1195 1460	2600 2700	3.11 m ³ 2.76 m ³
	STORE (INTERNAL)	500	1400	2700	2.16 m ³
				•	8.03 m ³
T 2	STORE (BASEMENT)	1000	1560	2700	4.21 m ³
	STORE (INTERNAL) STORE (INTERNAL)	600 500	1900 900	2700 2700	3.08 m ³ 1.22 m ³
	(1	1-30	12.00	8.51 m ³
IT 2	STORE (BASEMENT)	673	1825	2700	3.32 m ³
	STORE (INTERNAL) STORE (INTERNAL)	550 1590	1190 1200	2700 2700	1.77 m ³ 5.15 m ³
_	STORE (INTERNAL)	600	590	2400	0.85 m ³
		-			11.09 m
_	STORE (INTERNAL)	4233 1000	650 705	2700 2700	7.43 m ³ 1.90 m ³
	STORE (INTERNAL) STORE (INTERNAL)	400	1048	2700	1.90 m ²
		•			10.46 m
T 2	STORE (BASEMENT)	1000	2000	2700	5.40 m ³
	OTODE (INITEDNIAL)		-	_	0.70 1
	STORE (INTERNAL) STORE (INTERNAL)	850 1000	1620 600	2700 2700	3.72 m ³ 1.62 m ³ 10.74 m
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600	1620 600 1020 1500	2700 2700 2700 2700 2700	1.62 m ³ 10.74 m 3.08 m ³ 2.43 m ³
T 2	STORE (INTERNAL)	850 1000 1120	1620 600 1020	2700 2700 2700	1.62 m ³ 10.74 m 3.08 m ³
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600	1620 600 1020 1500	2700 2700 2700 2700 2700	1.62 m ³ 10.74 m 3.08 m ³ 2.43 m ³ 2.59 m ³
	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600	1620 600 1020 1500	2700 2700 2700 2700 2700	1.62 m ³ 10.74 m 3.08 m ³ 2.43 m ³ 2.59 m ³
	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600 600 1000 850	1620 600 1020 1500 1600 2600 1250	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³ 2.87 m³
	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT)	850 1000 1120 600 600 1000	1620 600 1020 1500 1600 2600	2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³
	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600 600 1000 850	1620 600 1020 1500 1600 2600 1250	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³ 2.87 m³ 3.24 m³
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT)	850 1000 1120 600 600 850 850 800 760	1620 600 1500 1600 2600 1250 1500	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³ 2.87 m³ 3.24 m³ 13.13 m 3.08 m³
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	850 1000 1120 600 600 600 850 850 800 760 1050	1620 600 1500 1600 2600 1250 1500 1500 736	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³ 3.24 m³ 13.13 m 3.08 m³ 2.09 m³
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT)	850 1000 1120 600 600 850 850 800 760	1620 600 1500 1600 2600 1250 1500	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³ 2.87 m³ 3.24 m³ 13.13 m 3.08 m³
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	850 1000 1120 600 600 600 850 850 800 760 1050	1620 600 1500 1600 2600 1250 1500 1500 736	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³ 3.24 m³ 13.13 m 3.08 m³ 2.09 m³ 4.78 m³
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	850 1000 1120 600 600 850 800 760 1050 600	1620 600 1020 1500 1600 2600 1250 1500 1500 736 2950 2450	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³ 2.87 m³ 3.24 m³ 13.13 m 3.08 m³ 2.09 m³ 4.78 m³ 9.94 m³ 6.37 m³
T 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL)	850 1000 1120 600 600 850 850 800 760 1050 600	1620 600 1020 1500 1600 2600 1250 1500 1500 736 2950	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m³ 10.74 m 3.08 m³ 2.43 m³ 2.59 m³ 8.11 m³ 7.02 m³ 2.87 m³ 3.24 m³ 13.13 m 3.08 m³ 2.09 m³ 9.94 m³
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	850 1000 1120 600 600 850 800 760 1050 600	1620 600 1020 1500 1600 2600 1250 1500 1500 736 2950 2450	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.08 m² 2.43 m² 2.59 m² 8.11 m² 7.02 m² 3.24 m² 13.13 m 3.08 m² 9.94 m² 9.94 m²
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600 600 850 800 760 1050 600	1620 600 1020 1500 1600 2600 1250 1500 1500 736 2950 2450	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.08 m² 2.43 m² 2.59 m² 8.11 m² 7.02 m² 3.24 m² 13.13 m 3.08 m² 9.94 m² 9.94 m²
IT 2	STORE (INTERNAL)	850 1000 1120 600 600 1000 850 760 1050 600 1050 850 1000 700	1620 600 1020 1500 1600 1250 1500 1500 736 2950 2450 1840 1195 1460	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.08 m² 3.08 m² 2.59 m² 8.11 m² 2.59 m² 8.11 m² 2.87 m² 3.08 m² 8.11 m² 6.37 m² 6.37 m² 4.25 m² 10.50 m² 10.50 m² 10.50 m² 10.50 m² 10.51 m² 10.52 m²
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (BASEMENT) STORE (BASEMENT) STORE (BASEMENT) STORE (BASEMENT) STORE (BASEMENT)	850 1000 1120 600 600 1000 800 760 1050 600 1000 850 1000 1000	1620 600 1020 1500 1250 1250 1250 1500 1250 1500 2950 2950 2950 1840 1840	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.08 m² 2.43 m² 2.43 m² 2.43 m² 2.59 m² 8.11 m² 7.02 m² 3.08 m² 13.13 m 3.08 m² 9.94 m² 6.37 m² 10.59 m 10.59 m 3.11 m²
IT 2	STORE (INTERNAL)	850 1000 1120 600 600 1000 850 760 1050 600 1050 850 1000 700	1620 600 1020 1500 1600 1250 1500 1500 736 2950 2450 1840 1195 1460	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.08 m² 2.43 m² 2.43 m² 2.59 m² 8.11 m² 7.02 m² 8.11 m² 3.08 m² 9.90 m² 4.78 m² 9.94 m² 6.37 m² 4.22 m² 10.59 m 3.11 m² 2.16 m²
IT 2	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	850 1000 1120 600 600 1000 850 760 1050 600 1050 850 1000 700	1620 600 1020 1500 1600 1250 1500 1500 736 2950 2450 1840 1195 1460	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.08 m² 3.08 m² 3.08 m² 3.08 m² 2.59 m² 8.11 m² 7.02 m² 3.24 m² 3.24 m² 3.34 m² 9.94 m² 6.37 m² 4.78 m² 9.94 m² 10.59 m 3.11 m² 2.76 m² 2.16 m² 8.03 m²
IT 2	STORE (INTERNAL)	850 1000 1120 600 600 1000 850 800 1000 600 1000 500 1000 600	1620 600 1020 1500 1500 1250 1500 1250 1500 736 2950 2450 1840 1840 11950 1600 1900	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.06 m² 2.43 m² 2.99 m² 8.11 m² 7.02 m² m² 3.24 m² 3.08 m² 13.13 m 3.08 m² 3.08 m² 9.94 m² 9.94 m² 9.94 m² 10.59 m 3.11 m² 2.276 m² 2.16 m² 3.08 m²
IT 2	STORE (INTERNAL)	850 1000 1120 600 600 850 800 760 1000 850 1000 700 500 1000 1000 1000 1000 1000 1000 1000	1620 600 1020 1500 1500 1600 1500 1500 1500 1500 1500 1500 1500 1600 1500 1840 1195 1460 1560 1560	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.08 m² 2.43 m² 2.59 m² 7.02 m² 7.02 m² 7.02 m² 3.08 m² 2.43 m² 7.02 m² 1.11 m² 7.02 m² 1.3.13 m 3.08 m² 1.3.13 m 3.08 m² 9.94 m² 2.76 m² 3.08 m² 3.08 m² 3.08 m² 3.08 m² 1.11 m² 3.08 m² 1.11 m²
IT 2	STORE (INTERNAL)	850 1000 1120 600 600 1000 850 800 1000 600 1000 500 1000 600	1620 600 1020 1500 1500 1250 1500 1250 1500 736 2950 2450 1840 1840 11950 1600 1900	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.06 m² 2.43 m² 2.99 m² 8.11 m² 7.02 m² m² 3.24 m² 3.08 m² 13.13 m 3.08 m² 3.08 m² 9.94 m² 9.94 m² 9.94 m² 10.59 m 3.11 m² 2.276 m² 2.16 m² 3.08 m²
	STORE (INTERNAL)	850 1000 1120 600 600 1000 850 1000 850 1000 850 1000 1000 1000 600 1000 1000 1000 1000 1000	1620 600 1020 1500 1600 1250 1500 736 2950 2450 1840 1195 1460 1600 1560 1560	2700 2700 2700 2700 2700 2700 2700 2700	162 m² 10.74 m 3.08 m² 2.43 m² 2.59 m² 7.02 m² 7.02 m² 3.24 m² 13.11 m² 3.08 m² 13.31 m² 3.08 m² 13.11 m² 3.08 m² 10.59 m 3.01 m² 3.02 m² 3.01 m² 3.02 m² 3.01 m² 3.02 m² 3.01 m² 3.02 m² 3.03 m² 4.21 m² 3.02 m² 8.51 m²
	STORE (INTERNAL)	850 1000 1120 600 600 1000 850 800 1000 600 1000 500 1000 600	1620 600 1020 1500 1250 1500 1250 1500 1250 1500 1250 1500 1250 1500 150	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.06 m² 2.43 m² 2.59 m² 8.11 m² 2.87 m² 3.24 m² 3.24 m² 3.34 m² 3.08 m² 4.78 m² 9.94 m² 4.22 m² 10.59 m 3.11 m² 4.22 m² 4.21 m² 3.08 m² 3.08 m² 4.21 m² 8.03 m² 4.21 m² 3.08 m² 3.08 m² 4.21 m² 3.08 m² 1.22 m² 4.21 m² 3.08 m² 4.21 m² 3.08 m² 3.08 m² 3.12 m² 3.01 m² 3.02 m²
	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600 600 850 1000 850 800 1050 600 600 1050 600 1050 600 500 1000 1000 500 1000 500 1000 550 1000 1550	1620 600 1020 1500 1500 1250 1500 736 2950 2950 2950 1150 11900 1900 900 22600 11900	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 1.05 m² 10.74 m 3.08 m² m² 2.43 m² 2.59 m² 7.02 m² 2.87 m² 3.24 m² 3.08 m² 3.24 m² 3.08 m² 3.08 m² 10.59 m² 6.37 m² 4.78 m² 9.94 m² 3.04 m² 3.05 m² 4.22 m² 10.59 m² 3.11 m² 3.03 m² 3.12 m² 8.03 m² 8.51 m² 8.51 m² 6.57 m²
	STORE (INTERNAL)	850 1000 1120 600 600 850 1000 850 800 1050 600 600 1050 600 1050 600 1000 850 1000 850 1000 500 1000 550	1620 600 1020 1500 1500 1250 1500 1250 1500 1250 1500 2850 2850 2850 1480 1195 1460 1560 1560 2850 11900 2800 11900	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.06 m² 2.23 m² 2.59 m² 8.11 m² 7.02 m² 3.24 m² 3.24 m² 3.24 m² 3.08 m² 4.22 m² 10.59 m 3.08 m² 4.78 m² 9.94 m² 10.59 m 3.11 m² 4.22 m² 10.59 m 3.11 m² 4.21 m² 4.21 m² 3.08 m² 4.21 m² 3.08 m² 4.21 m² 1.27 m² 3.08 m² 4.21 m² 3.08 m² 4.21 m² 1.27 m² 3.08 m² 4.21 m² 1.27 m² 5.15 m² 0.85 m²
T 2 T 1 T 1	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600 600 850 1000 850 800 1050 600 600 1050 600 1050 600 500 1000 1000 500 1000 500 1000 550 1000 1550	1620 600 1020 1500 1500 1250 1500 736 2950 2950 2950 1150 11900 1900 900 22600 11900	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 1.05 m² 10.74 m 3.08 m² m² 2.43 m² 2.59 m² 7.02 m² 2.87 m² 3.24 m² 3.08 m² 3.24 m² 3.08 m² 3.08 m² 10.59 m² 6.37 m² 4.78 m² 9.94 m² 3.04 m² 3.05 m² 4.22 m² 10.59 m² 3.11 m² 3.03 m² 3.12 m² 8.03 m² 8.51 m² 8.51 m² 6.57 m²
	STORE (INTERNAL)	850 1000 1120 600 600 600 1000 850 800 800 1050 600 1050 600 1050 600 1050 600 1000 550 1000 550 1000 550 1000 550 1000 560	1620 600 1020 1500 1500 1500 1250 1500 1500 1500 1500 1500 1500 1500 1500 1500 1500 1500 1500 1500 1500 1500 1500 1600 1195 1460 1560 1500 1560 1900 2800 1190 990 2800 1190 580	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.08 m² 2.243 m² 2.59 m² 8.11 m² 3.08 m² 2.87 m² 3.24 m² 3.24 m² 3.08 m² 4.78 m² 9.94 m² 6.37 m² 4.22 m² m² 2.76 m² 3.08 m² 4.21 m² 4.21 m² 3.08 m² 1.177 m² 3.08 m² 4.21 m² 1.177 m² 3.08 m² 4.21 m² 1.177 m² 0.085 m² 1.4.79 m
	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	850 1000 1120 600 600 850 1000 850 1000 850 1000 850 1000 550 1000 550 1000 1000 1000	1620 600 1020 1500 1500 1250 1500 736 2950 2950 2950 1150 11900 1900 900 22600 11900	2700 2700 2700 2700 2700 2700 2700 2700	1.62 m² 10.74 m 3.06 m² 2.23 m² 2.59 m² 8.11 m² 7.02 m² 3.24 m² 3.24 m² 3.24 m² 3.08 m² 4.22 m² 10.59 m 3.08 m² 4.78 m² 9.94 m² 10.59 m 3.11 m² 4.22 m² m² 2.76 m² 2.16 m² 3.08 m² 4.21 m² 4.21 m² 3.08 m² 4.21 m² 1.27 m² 3.08 m² 4.21 m² 1.27 m² 3.08 m² 4.21 m² 1.27 m² 3.08 m² 4.21 m² 1.17 m³ 0.08 m²

	TYPE	D	W	Н	VC
1505					
2 BED					
BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 n
LEVEL 15	STORE (INTERNAL)	850	1620	2700	3.72 n
LEVEL 15	STORE (INTERNAL)	1000	600	2700	1.62 n
1506					9.39 n
1506 2 BED					
2 BED BASEMENT 2	STORE (BASEMENT)	1000	1500	2700	4.05 n
LEVEL 15	STORE (BASEMENT) STORE (INTERNAL)	600	1500	2700	4.05 n
LEVEL 15 LEVEL 15	STORE (INTERNAL)	600	1600	2700	2.43 n 2.59 n
		1000	1.000	2100	9.07 n
1507					5.07 1
3 BED					
BASEMENT 2	STORE (BASEMENT)	1000	2600	2700	7.02 n
LEVEL 15	STORE (INTERNAL)	850	1250	2700	2.87 n
LEVEL 15	STORE (INTERNAL)	800	1500	2700	3.24 n
					13.13
1508					
2 BED					
	STORE (BASEMENT)	1000	1595	2700	4.31 n
LEVEL 15	STORE (INTERNAL)	1050	736	2700	2.09 n
LEVEL 15	STORE (INTERNAL)	600	2950	2700	4.78 m
LEVEL 15 1509 2 BED	STORE (INTERNAL)				4.78 n 11.17
LEVEL 15 1509 2 BED	STORE (INTERNAL)	600	2950	2700	4.78 n 11.17 6.24 n
LEVEL 15 1509 2 BED BASEMENT 1	STORE (INTERNAL)	600	2950	2700	4.78 n 11.17 6.24 n 4.22 n
LEVEL 15 1509 2 BED BASEMENT 1	STORE (INTERNAL)	600	2950	2700	4.78 n 11.17 6.24 n 4.22 n
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15	STORE (INTERNAL)	600	2950	2700	4.78 n 11.17 6.24 n 4.22 n
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601	STORE (INTERNAL)	600	2950	2700	4.78 n 11.17 6.24 n 4.22 n 10.46
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	600 1000 850	2950 2399 1840	2700 2600 2700	4.78 n 11.17 6.24 n 4.22 n 10.46 4.28 n
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL)	1000 600 1000 850 880	2950 2399 1840 1800	2700 2700 2600 2700 2700	4.78 n 11.17 6.24 n 4.22 n 10.46 4.28 n 5.89 n 6.92 n
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 1602	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL)	600 1000 850 880 1275	2950 2399 1840 1800 2200	2700 2700 2700 2700 2700 2700 2100	4.78 m 11.17 6.24 m 4.22 m 10.46 4.28 m 5.89 m 6.92 m
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 1602 4 BED	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	600 600 850 880 1275 600	2950 2399 1840 1800 2200 4269	2700 2600 2700 2700 2700 2100 2700	4.78 m 11.17 6.24 m 4.22 m 10.46 4.28 m 5.89 m 6.92 m 17.08
LEVEL 15 1509 2 BED BASSEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 1602 4 BED LEVEL 16	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	1000 600 850 880 1275 600	2950 2399 1840 1800 2200 4269	2700 2700 2700 2700 2700 2100 2700 2700	4.78 m 11.17 6.24 m 4.22 m 10.46 4.28 m 5.89 m 6.92 m 17.08 7.52 m
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 1602 4 BED	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	600 600 850 880 1275 600	2950 2399 1840 1800 2200 4269	2700 2600 2700 2700 2700 2100 2700	4.78 n 11.17 6.24 n 4.22 n 10.46 4.28 n 5.89 n 6.92 n 17.08 7.52 n 4.05 n
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 17 1603 4 BED	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL) STORE (INTERNAL)	1000 600 1000 850 880 1275 600 1600 600	2950 2399 1840 1800 2200 4269 1740 2498	2700 2700 2700 2700 2100 2700 2700 2700	4.78 m 11.17 6.24 m 4.22 m 10.46 4.28 m 5.89 m 6.92 m 17.08 7.52 m 11.56
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 17 1602 4 BED LEVEL 17	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	600 1000 850 880 1275 600 1600 600	2399 1840 1840 2200 4269 1740 2498	2700 2700 2700 2700 2700 2700 2700 2700	4.78 m 11.17 6.24 m 4.22 m 10.46 4.28 m 6.92 m 17.08 7.52 m 17.08 7.52 m 11.56
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 17 1603 4 BED LEVEL 17	STORE (INTERNAL)	600 1000 850 880 1275 600 1600 600 600 600	2950 2399 1840 1800 2200 4269 1740 2498 2700 3250	2700 2600 2700 2700 2100 2700 2700 2700 2700 27	4.78 m 11.17 6.24 m 4.22 m 10.46 4.28 m 6.92 m 17.08 7.52 m 4.05 m 11.56 4.37 m 5.27 m
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 17 1602 4 BED LEVEL 17	STORE (INTERNAL) STORE (BASEMENT) STORE (INTERNAL)	600 1000 850 880 1275 600 1600 600	2399 1840 1840 2200 4269 1740 2498	2700 2700 2700 2700 2700 2700 2700 2700	4.78 n 11.17 6.24 n 4.22 n 10.46 4.22 n 10.46 4.28 n 5.89 n 17.08 7.52 n 11.56 4.37 n 5.27 n 0.68 n
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 17 1603 4 BED LEVEL 17	STORE (INTERNAL)	600 1000 850 880 1275 600 1600 600 600 600	2950 2399 1840 1800 2200 4269 1740 2498 2700 3250	2700 2600 2700 2700 2100 2700 2700 2700 2700 27	4.78 m 11.17 6.24 n 4.22 n 10.46 4.22 n 10.46 4.28 n 5.89 n 6.92 n 17.08 7.52 n 11.56 4.37 n 5.27 n 0.68 n
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 16 1603 4 BED LEVEL 17 LEVEL 17 LEVEL 16 1604	STORE (INTERNAL)	600 1000 850 880 1275 600 1600 600 600 600	2950 2399 1840 1800 2200 4269 1740 2498 2700 3250	2700 2600 2700 2700 2100 2700 2700 2700 2700 27	4.78 m 11.17 6.24 m 4.22 m 10.46 4.28 m 5.89 m 6.92 m
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 17 1603 4 BED LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL 17 LEVEL 16 LEVEL	STORE (INTERNAL)	600 1000 850 880 1275 600 1600 600 600 600	2950 2399 1840 2200 4269 1740 2498 2700 3250 1250	2700 2700 2700 2700 2100 2700 2700 2700	4.78 m 11.17 6.24 m 4.22 m 10.46 4.28 m 6.92 m 17.08 7.52 m 1.56 4.37 m 5.27 m 0.68 m 10.31
LEVEL 15 1509 2 BED BASEMENT 1 LEVEL 15 1601 4 BED LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 16 LEVEL 17 1602 4 BED LEVEL 17 1602 4 BED LEVEL 17 1604 1602 4 BED LEVEL 17 1604 1602 1702 1603 1602 1602 1702 1603 1602 1602 1602 1702 1603 1602 1602 1602 1602 1602 1702 1603 1603 1602 1602 1702 1603 1702 1603 1702 1603 1702 1002 1	STORE (INTERNAL)	600 1000 850 880 1275 600 1600 600 600 600 600	2950 2399 1840 1840 2200 4269 1740 2498 2700 3250 1250	2700 2700 2700 2700 2700 2700 2700 2700	4.78 n 11.17 6.24 n 4.22 n 10.46 4.28 n 5.89 n 6.92 n 17.08 7.52 n 1.56 4.37 n 5.27 n 0.68 n 10.31



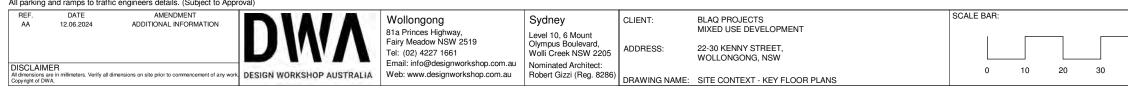


SITE CONTEXT ANALYSIS - GROUND

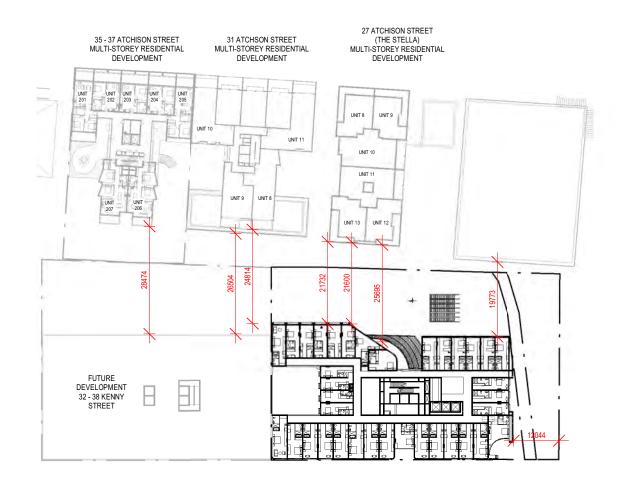
SITE CONTEXT ANALYSIS - LEVEL 1 1 : 1000

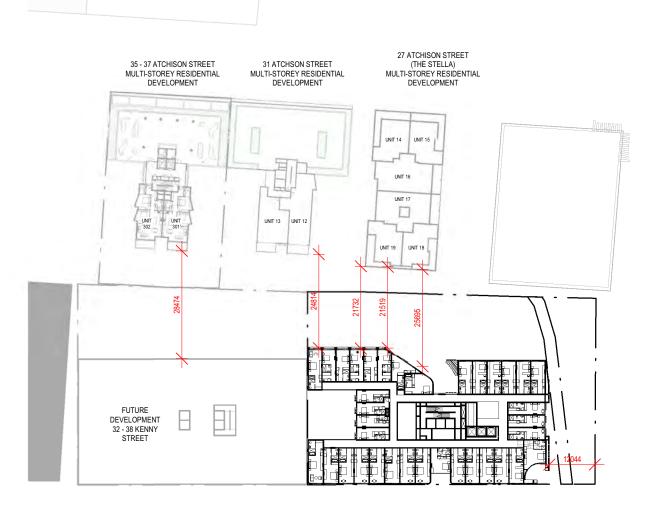
1 : 1000

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)



40 50m	\bigcirc	ISSUE DATE: 12.06.2024 DRAWN: LF SCALE: 1:1000 QA: RG	PROJECT No. 2563 DWG No. Rev. 030 AA
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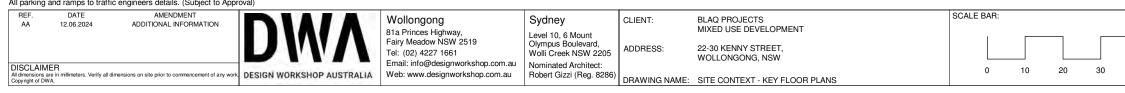




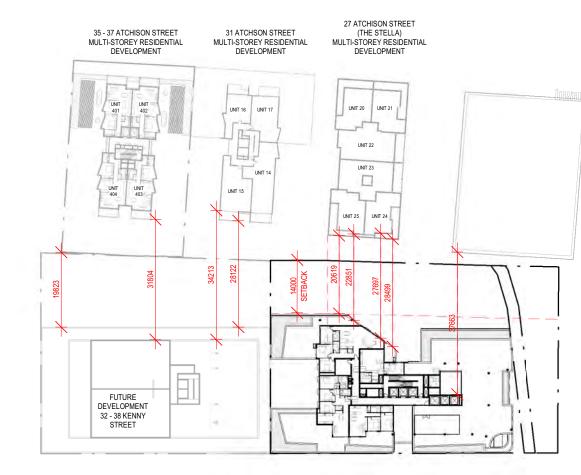


SITE CONTEXT ANALYSIS - LEVEL 3 1:1000

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)



40 50m	ISSUE DATE: 12.06.2024 DRAWN: LF SCALE: 1:1000 QA: RG DRAUNC NO. DWG NO. 031 AA
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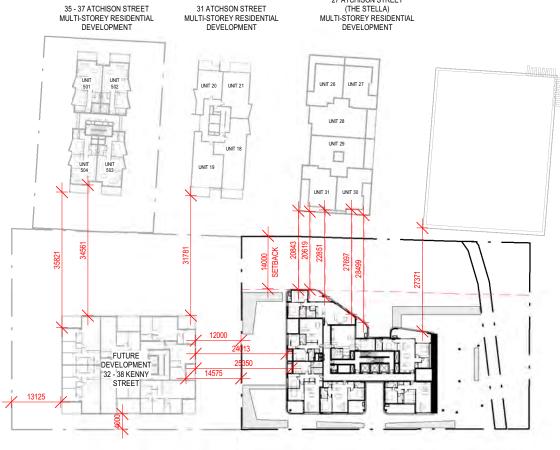




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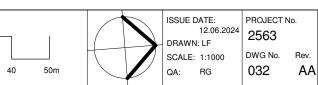
DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All narking and ramos to traffic engineers details. (Subject to Approval)

All parking	and ramps to trame	engineers details. (Subject to Appro	Jval)					
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	SCALE BAR:
				81a Princes Highway, Fairy Meadow NSW 2519	Level 10, 6 Mount Olympus Boulevard,			
				Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
DISCLAIM	IER are in millimeters. Verify all din	nensions on site prior to commencement of any work	DESIGN WORKSHOP AUSTRALIA	Web: www.designworkshop.com.au	Nominated Architect: Robert Gizzi (Reg. 8286)			0 10 20 30 4
Copyright of DW	VA.		DESIGN WORKSHOF AUSTRALIA	Test www.designworkshop.com.ad	1100ert Clzzr (11eg. 0200)	DRAWING NAME:	SITE CONTEXT - KEY FLOOR PLANS	

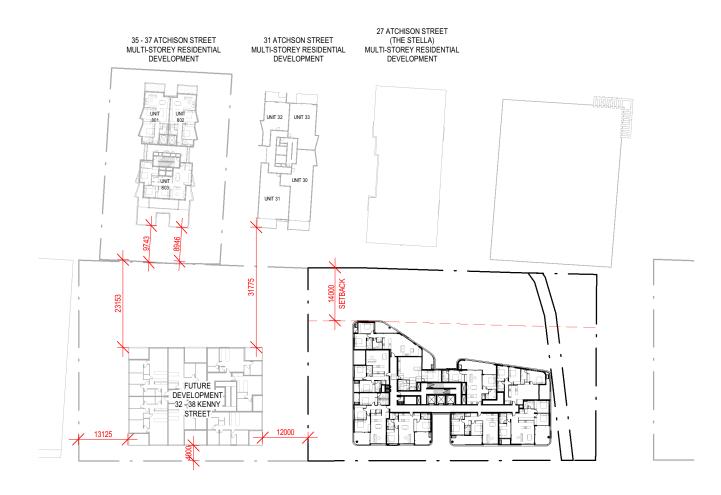










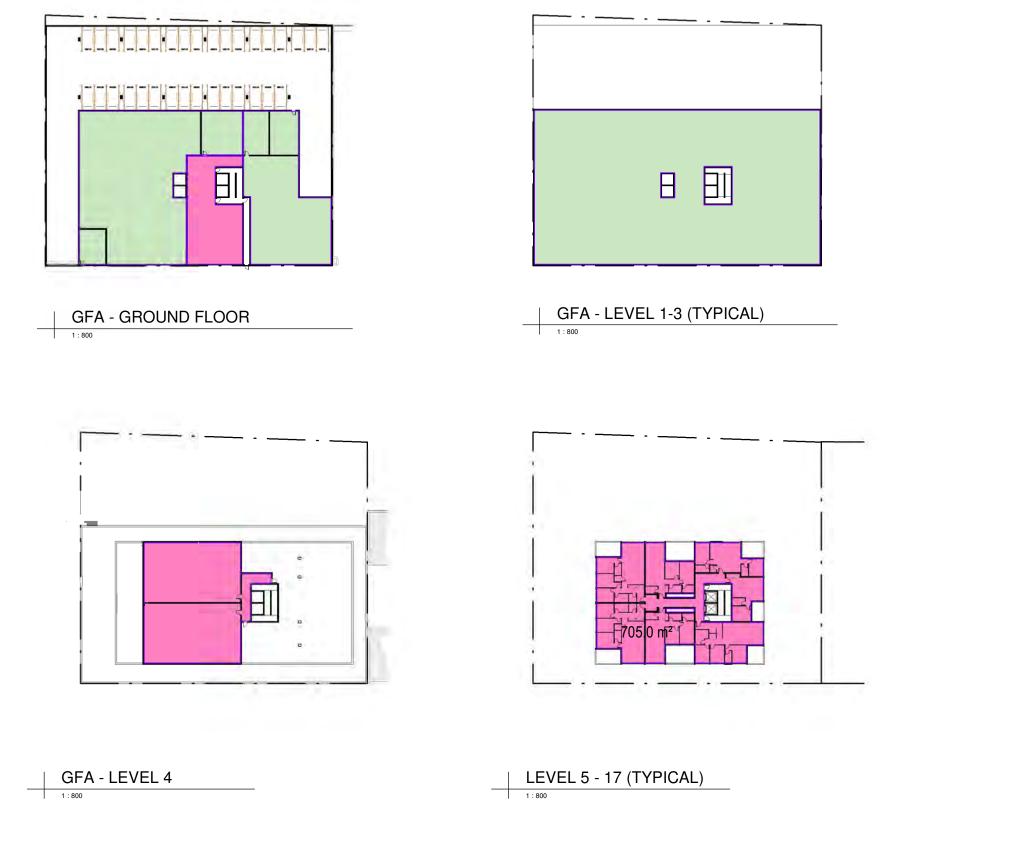




DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property.

All parking	and ramps to traffic	engineers details. (Subject to Appro	oval)					
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong 81a Princes Highway,	Sydney Level 10, 6 Mount	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	
			DVVA	Fairy Meadow NSW 2519 Tel: (02) 4227 1661	Olympus Boulevard, Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
DISCLAIM All dimensions a Copyright of DW	are in millimeters. Verify all dim	ensions on site prior to commencement of any work.	DESIGN WORKSHOP AUSTRALIA	Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Nominated Architect: Robert Gizzi (Reg. 8286)	DRAWING NAME:	SITE CONTEXT - KEY FLOOR PLANS	

	ISSUE D	12.06.2024	PROJECT N	10.
	SCALE: QA:	RG	DWG No. 033	Rev. AA



DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property.

REF.	DATE	AMENDMENT		347.11				
AA	12.06.2024	ADDITIONAL INFORMATION		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS	
,	12:00:2021			81a Princes Highway,	Level 10, 6 Mount		MIXED USE DEVELOPMENT	
				Fairy Meadow NSW 2519	Olympus Boulevard,			
				Tel: (02) 4227 1661	Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET,	
	FD			Email: info@designworkshop.com.au	Nominated Architect:		WOLLONGONG, NSW	
ISCLAIM		nensions on site prior to commencement of any work	DESIGN WORKSHOP AUSTRALIA	Web: www.designworkshop.com.au	Robert Gizzi (Rog. 8286)			
opyright of DV	/A.	inclusions on one phot to common common of any work	DESIGN WORKSHOP AUSTRALIA	Web. WWW.debigriworkshop.com.ad	(Heg. 0200)	DRAWING NAME:	FUTURE DEVELOPMENT GFA PLANS	

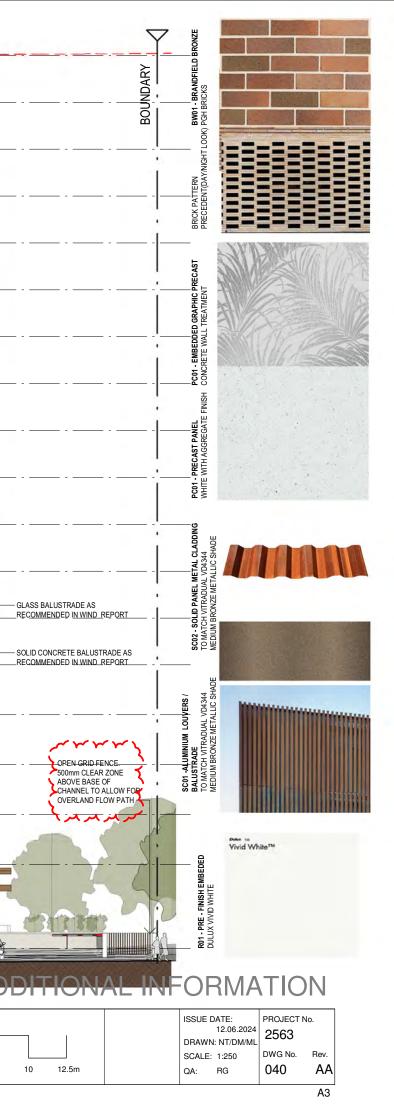
I EVEI	ARFA	FSR
COMMERCIAL	74(2)(
GROUND FLOOR	1278.46 m ²	0.40
LEVEL 1	1902.84 m ²	0.60
LEVEL 2	1902.86 m ²	0.60
LEVEL 3	1902.87 m ²	0.60
	6987.02 m ²	2.21
RESIDENTIAL		
GROUND FLOOR	222.20 m ²	0.07
LEVEL 4	549.88 m ²	0.17
LEVEL 5	705.04 m ²	0.22
LEVEL 6	705.04 m ²	0.22
LEVEL 7	705.04 m ²	0.22
LEVEL 8	705.04 m ²	0.22
LEVEL 9	705.04 m ²	0.22
LEVEL 10	705.04 m ²	0.22
LEVEL 11	705.04 m ²	0.22
LEVEL 12	705.04 m ²	0.22
LEVEL 13	705.04 m ²	0.22
LEVEL 14	705.04 m ²	0.22
LEVEL 15	705.04 m ²	0.22
LEVEL 16	705.04 m ²	0.22
LEVEL 17	705.04 m ²	0.22
	9937 54 m ²	3 14
	3337.34 III	5.14

Wollongong City Council FSR Calculator City Centre - Mixed Use (Various Zones)

the numbers	in the	XXX	only	
Area - Equal	or greate	er than 2000sqm / Str	reet From	ntage greater
a	3165			
	Area	%		Total Area
s (NRFSR)	6987	41.28		16924
SR)	9937	58.72		
	RFSR =	3.5		
	NRFSR =	6		
x NR / 100)	+	(RFSR x R / 100)	:1	
2.477	+	2.055	:1	
le FSR	4.53	:1		_
ole GFA	14344.1			
ed FSR	5.35	1		
fference	-2579.9			

	ISSUE D	12.06.2024	PROJECT No. 2563		
	SCALE: QA:	RG	DWG No. 034	Rev. AA	

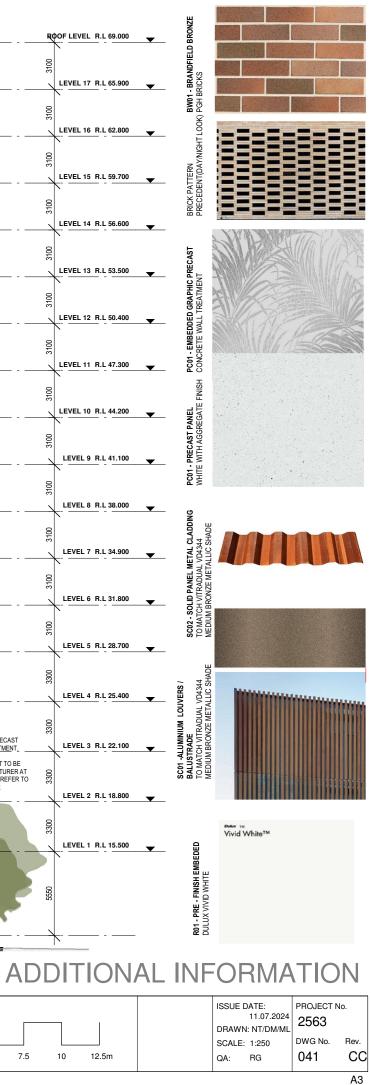
R.L 6	69.000 ROOF LEVEL	60 METRE HEIGHT L	IMIT						
001 3100	65.900 LEVEL 17 NO								
₩	BOU								
• R.L.6	62.800 LEVEL 16							PC01	
₩ R.L 5	59.700 LEVEL 15	· · · ·						Roi PC01	
31	56.600 LEVEL 14							SC01 R01	
000 ₩ R.L 5	53.500 LEVEL 13							PC01	
00t R.L s	50.400 LEVEL 12							PC01	
3100	· · · · · · · · · · · · · · · · · · ·							R01 PC01	
005 8.1.4	47.300 LEVEL 11							R01 PC01	
• R.L 4	44.200 LEVEL 10	· · · ·						R01 PC01	
	41.100 LEVEL 9							Rof PC01	
00€ ■ R.L 3	38.000 LEVEL 8						5002	R01	
000 ₩ R.L.3	34.900 LEVEL 7	· . · ·					5002	PC01	
001£ R.L 3	31.800 LEVEL 6							PC01	
3100								R01	ann han han an a
	28.700 LEVEL 5								
	25.400 LEVEL 4	11776 4 1173 4 11756						Ind The State Stat	
0000000000000000000000000000000000000	22.100 LEVEL 3		-						
00000000000000000000000000000000000000	18.800 LEVEL 2		-						
	15.500 LEVEL 1			-		22-30			
ROLL	LER SHUTTER TO BE CLOSED					KENNY STREET			
150m AND BOTT	LER SHUTTER TO BE MADE OF JZONTAL ALUMINUM SLATS @ mm CENTERS AND WITH MIN. mm GAP BETWEEN BOTTOM RAIL FINISHED SLAB LEVEL, FOR THE TOM 1.0M SECTION OF DOOR				LAP	× 4 0		The state	
DIS	CLAIMER ct to: full site survey, mean	uremants are preliminarit, discus	sign and neetings with authorities, apr easibility completed based on informati	roval from authorities,					
Draw All pa	vings are not are not suitable arking and ramps to traffic e F. DATE	e for purchase of property. engineers details. (Subject to App AMENDMENT	roval)	Т	Sydney		BLAQ PROJECTS	SCAL	E BAR:
A		ADDITIONAL INFORMATION	DWA	Wollongong 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661	Sydney Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205	CLIENT: ADDRESS:	BLAG PHOJECTS MIXED USE DEVELOPMENT 22-30 KENNY STREET, WOLLONGONG, NSW		
All dime	CLAIMER ensions are in millimeters. Verify all dimen ight of DWA.	nsions on site prior to commencement of any work	DESIGN WORKSHOP AUSTRALIA	Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Nominated Architect: Robert Gizzi (Reg. 8286)	DRAWING NAME:	ELEVATION - EAST		0 2.5 5 7.5



60 METRE HEIGHT LIMIT	R
BBOUNDARY	
	3300
	38 38 38
27 ATCHINSON ST	
	300 300
PROPOSED CANOPY	
PC02 — EMBEDDED GRAPHIC PRECAST CONCRETE WALL TREATMENT. (CONCRETE FINISH) EINAL PATTERN (LAVOLIT DI FINISH)	PC02 RAPHIC PRECAST CONCRETE WALL TREATMENT.
	FINAL PATTERN / LAYOUT TO BE PROVIDED BY MANUFACTURERAT CONSTRUCTION STAGE. REFER TO COLOUR SCHEDULE FOR INDICATIVE IMAGE.
14749 500mm CLEAR ZONE ABOVE SLAB LEVEL TO ALLOWS FROM OVERLAND FLOWS FROM DJUININO PROPERTY	

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and preetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)

DATE AMENDMENT 11.07.2024 ADDITIONAL INFORMATION WOllongong 81a Princes Highway, Lovel 10.6 Mount MIXED USE DEVELOPMENT	AR:										
Fairy Meadow NSW 2519 Olympus Boulevard, Tel: (02) 4227 1661 Wolli Creek NSW 2205											
MER s are in millimeters. Verify all dimensions on site prior to commencement of any work DWA.	0 2.5 5 7	7.5									







REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong 81a Princes Highway.	Sydney	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	SCALE BAR:			
DISCLAIN All dimensions Copyright of D	s are in millimeters. Verify all dir	nensions on site prior to commencement of any work	DINA DESIGN WORKSHOP AUSTRALIA	Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 Nominated Architect: Robert Gizzi (Reg. 8286)	ADDRESS: DRAWING NAME:	22-30 KENNY STREET, WOLLONGONG, NSW ELEVATION - NORTH	0	2.5	5	7.5

Z 	BICK PATTERN BECK PATTERN PRECEDENT/DAYNIGHT LOOK) PGH BRCKS	
	Lecast	
	PC01 - PRECAST PANEL WHITE WITH AGGREGATE FINSH CONCRETE WALL TREATMENT CONCRETE WALL TREATMENT	
	SC02 - SOLID PANEL METL CLADDING TOMATCH VITRADUAL VD4344 MEDIUM BRONZEM BRALLIC SHADE	
E D pr	scor aLuminum Louvers / BALUSTRADE TO MATCH VITRADUAL VD4344 MEDIUM BRONZE METALLIC SHADE	
	R01 - PRE - FINISH EMBEDED DULUX VIVID WHITE	
DITIONAL		
10 12.5m	ISSUE DATE: 12.06.2024 DRAWN: NT/DM/ML SCALE: 1:250 QA: RG 043 AA A3	

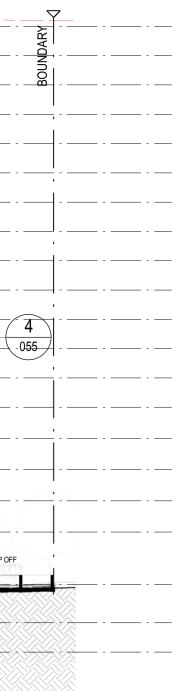
A3

	RESIDENTIAL C.O.S		
	0012 1503	3 BED 1507	
R.L 56.600 LEVEL 14	8) BED 1403	3 BED 1407	· · · · · · · ·
R.L 53.500 LEVEL 13	8 BED 1303-	3 BED 1307	· ·
R.L. 50.400 LEVEL 12		 3 BED 1207	
₩ R.L 47.300 LEVEL 11		3 BED 1107	
		3 BED 1007	· ·
		3 BED 907	
		3 BED 807 3 BED	
		3 SED	
R.L 31.800 LEVEL 6		3 BED	
R.L 28.700 LEVEL 5	RESIDENTIAL C.O.S	507	· ·
		₽ 404	
→ R.L 22.100 LEVEL 3 - - - -			
HOTEL DROP OFF			
R.L 9.950 GROUND FL			
R.L 5.900 BASEMENT 1	BASEMENT CARPARK		
R.L.2.800 BASEMENT 2	BASEMENT CARPARK	BASE	

REF. AA 1	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong 81a Princes Highway,	Sydney Level 10, 6 Mount	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	SCALE BAR:	ISSUE DATE: 12.06.2024	PROJECT No. 2563
DISCLAIMER All dimensions are in r Copyright of DWA.	millimeters. Verify all dim	insions on site prior to commencement of any work	DINA DESIGN WORKSHOP AUSTRALIA	Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Olympus Boulevard, Wolli Creek NSW 2205	ADDRESS: DRAWING NAME:	22-30 KENNY STREET, WOLLONGONG, NSW SECTION A	0 2.5 5 7.5 10 12.5m	DRAWN: NT/DM/ML SCALE: 1:250 QA: RG	DWG No. F 050

R.L 69.000 ROOF LEVEL		METRE HEIGHT L	IMIT															
R.L 65.900 LEVEL 17	BOUNDARY					M	2700	T										
R.L 62.800 LEVEL 16							400		-	T.s.				ESIDENTIAL	C.O.S			
R.L 59.700 LEVEL 15			nen (2 BED 1508	R	1 BED 1501	2700		ţ.]	-	2 BED 1502				2400	3BED 1503	п	
R.L 56.600 LEVEL 14			nen	2 BED 1408	r D	1 BED 1401	2700		۰ 17		2 BED 1402		-no		2400	3 <u>BED</u> 1403		
R.L 53.500 LEVEL 13			nen	2 BED 1308	R.	1 BED 1301	2700		Ъ.		2 BED_ 1302_		- n		2400	3 BED 1303	п	
R.L 50.400 LEVEL 12		·	nen [2 BED 1208	rt.	1 BED 1201	Z700		ħ.		2 BED 1202		inn		2400	<u>3BED</u> 1203	П	
R.L 47.300 LEVEL 11				2 BED 1108	r.	1 BED 1101	2700		Ť.	-	2 BED 1102		- no		2400	3 <u>BED</u> 1103	П	
R.L 44.200 LEVEL 10		·		2 BED 1008		1 BED 1001	Z700				2 BED_ 1002_		in		2400	3 <u>BED</u> 1003		
R.L 41.100 LEVEL 9	+			2 BED 908	r.	1 BED 901	2700		7,0	-	<u> </u>		-h		2400	3 BED 903	п	
R.L 38.000 LEVEL 8			nen	2 BED 808	rt 🗌	1 BED 801	2700			-	2 BED 802		'n		2400	<u>3</u> BED 803		<u></u>
R.L 34.900 LEVEL 7				2 BED 708	r.	1 BED 701	2700		<u>.</u>	-	2 BED 702 -		- n		2400	3 <u>BED</u> 703		<u> </u>
R.L 31.800 LEVEL 6				2 BED 608	rt 🗋	1 BED 601	2700			-	2 BED 602 -		in		2400	3BED 603	F	
R.L 28.700 LEVEL 5				2 BED 508		1 BED 501	Z700		ĥ		2 BED 502 -		j	RESI	DENTIAL C	<u> </u>		
R.L 25.400 LEVEL 4				K		1 BED 401						100	ţ, X					
R.L 22.100 LEVEL 3		-	HOTEL	- H								3	K	K	K			
R.L 18.800 LEVEL 2		-	HOTEL									3	K	K	K			
R.L 15.500 LEVEL 1		INTERNAL COURTYARD	HOTEL	÷.									K	K	K			J.
2220												Τ			L LOBBY/	BAD	⊫	HOTEL D
R.L 9.950 GROUND FL				- 100000		<u> </u>	××1											
R.L 5.900 BASEMENT 1					BAS	EMENT CARPA	RK		2	æ								
R.L 2.800 BASEMENT 2					BA	SEMENT CARP	ARK											

REF.	DATE	AMENDMENT ADDITIONAL INFORMATION		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS	SCALE BAR:	ISSUE DATE:	PROJECT No.
AA	12.06.2024	ADDITIONAL INFORMATION		81a Princes Highway,	Level 10, 6 Mount		MIXED USE DEVELOPMENT		12.06.2024	
				Fairy Meadow NSW 2519	Olympus Boulevard,	ADDRESS:	22-30 KENNY STREET,		DRAWN: NT/DM/MI	L 2000
				Tel: (02) 4227 1661	WOIII Creek INSW 2205	ADDITE00.	WOLLONGONG, NSW		SCALE: 1:250	DWG No. F
DISCLAIN	/ER				Normalia ou / normalou.			0 2.5 5 7.5 10 12.5m	QA: RG	051
All dimensions Copyright of D	are in millimeters. Verify all di WA.	mensions on site prior to commencement of any work	DESIGN WORKSHOP AUSTRALIA	Web: www.designworkshop.com.au	Robert Gizzi (Reg. 8286)	DRAWING NAME:	SECTION B			001



	60 METRE H	
	4 BED 00072	65.900 LEVEL 17
· · · · · · · · · · · · · · · · · · ·		59.700 LEVEL 15
· · · · · ·		56.600 LEVEL 14
· · ·		53.500 LEVEL 13
• • • • • • • • • • • • • • • • • • •		50.400 LEVEL 12
r		47.300 LEVEL 11
• • • + • +		44.200 LEVEL 10
· · · _ · · _ · · _ · · · · · · · · · · · · · · · · · · ·		41.100 LEVEL 9
• • • •		38.000 LEVEL 8
···		34.900 LEVEL 7
r		31.800 LEVEL 6
···		28.700 LEVEL 5
		25.400 LEVEL 4
		22.100 LEVEL 3
		18.800 LEVEL 2
		15.500 LEVEL 1
		L 9.950 GROUND FL
	BASEMENT CARPARK	L 5.900 BASEMENT 1
	BASEMENT CARPARK	

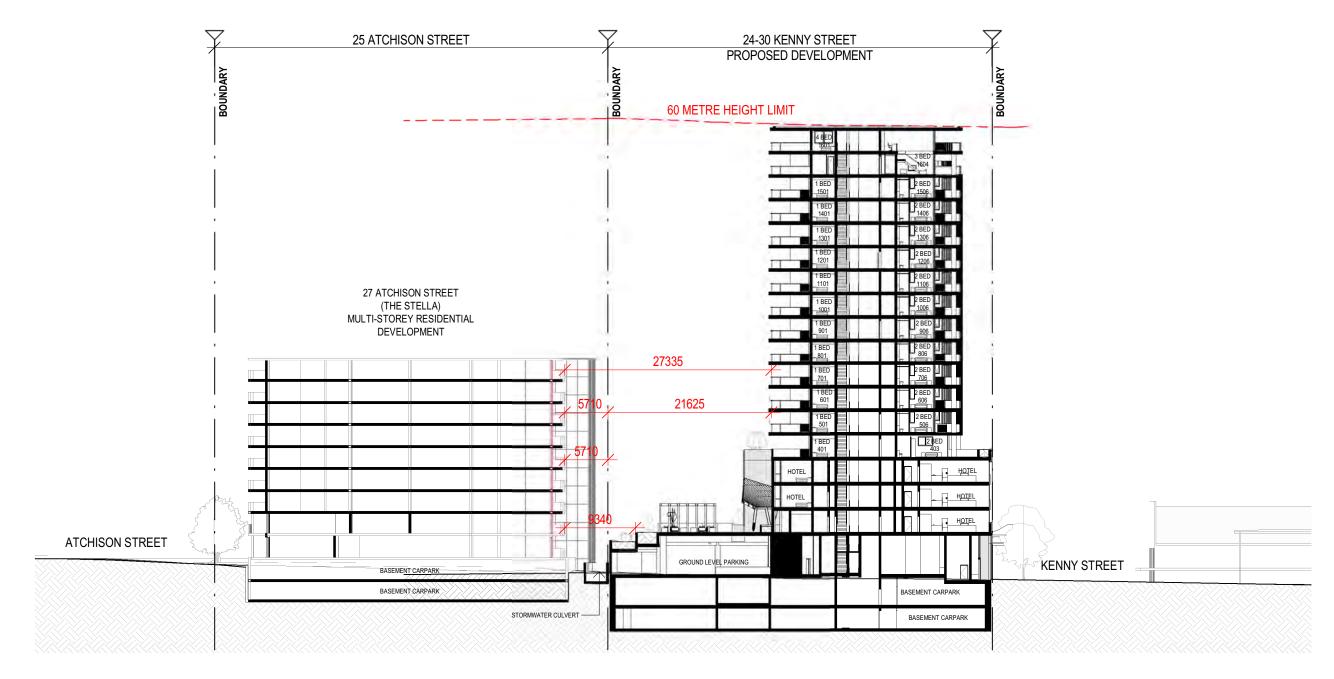
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS	SCALE BAR:		PROJECT N
				81a Princes Highway,	Level 10, 6 Mount		MIXED USE DEVELOPMENT		12.06.2024	1/2003
				Fairy Meadow NSW 2519	Olympus Boulevard,	ADDRESS:	22-30 KENNY STREET,		DRAWN: NT/DM/ML	L 2000
				Tel: (02) 4227 1661	Wolli Creek NSW 2205		WOLLONGONG, NSW		SCALE: 1:250	DWG No.
CLAIM		renaions on site prior to commencement of any work		Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Nominated Architect:			0 2.5 5 7.5 10 12.5m	QA: RG	052
right of DW		iensions on site pror to commencement of any work	DESIGN WORKSHOP AUSTRALIA	web. www.designworkshop.com.au	Robert Gizzi (Reg. 8286)	DRAWING NAME:	SECTION C			

R.L 69.000 ROOF LEVEL					_		
R.L 65.900 LEVEL 17						BOUNDARY	
R.L 62.800 LEVEL 16							
R.L 59.700 LEVEL 15			2 BED 1508	8 BED 1507	2 BED 1506		
R.L 56.600 LEVEL 14	33100		2 BED 1408	3 BED 1407	2 BED 1406		
R.L 53.500 LEVEL 13	3300		2 BED 38	3 BED 1307	2 BED 1306		
R.L 50.400 LEVEL 12			2 BED 8	3 BED 1207	2 BED 1206	 '	
R.L 47.300 LEVEL 11			2 BED 8	3 BED 1107	2 BED 1106		
R.L 44.200 LEVEL 10			2 BED 9	3 BED 1007	2 BED 1006	 ,	
	-]		2 BED 908	3 BED 907	2 BED 906		
R.L 41.100 LEVEL 9 27 ATCHINSON S	- \		2 BED 808	3 BED 807	2 BED 806	 ,	
R.L 38.000 LEVEL 8			2 BED 708	3 BED 707	1 2 BED		
R.L 34.900 LEVEL 7			2 BED	B BED	2 BED		
R.L 31.800 LEVEL 6		—	608 997	607	606 · · · · · · · · · · · · · · · · · ·		
R.L 28.700 LEVEL 5	<u> </u>		508	507	506		
R.L 25.400 LEVEL 4		402					
R.L 22.100 LEVEL 3	HOTEL	HOTEL	HOTEL				
R.L 18.800 LEVEL 2	COMMUNAL OUTDOOR SPAGE (RECREATION)	HOTEL	HOTEL				
R.L 15.500 LEVEL 1		HOTEL	HOTEL				<u> </u>
	2220						> >
R.L 9.950 GROUND FL		LOA	DING DOCK	CON		KENNY S	TREET
R.L 5.900 BASEMENT 1	RAMP	BASEMENT CARPARK BASI	EMENT CARPARK	1-1-1-1-1			
R.L 2.800 BASEMENT 2	RAMP				MENT CARPARK		

All parking and ramps to traffic engineers details. (Subject to Approval)					
REF. DATE AMENDMENT AA 12.06.2024 ADDITIONAL INFORMATION	Wollongong 81a Princes Highway,	Sydney	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	SCALE BAR:
DWA	Fairy Meadow NSW 2519 Tel: (02) 4227 1661	Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
DISCLAIMER All dimensions are in millimeters. Verify all dimensions on site prior to commencement of any work. DESIGN WORKSHOP AUSTRALIA Copyright of VWA.	Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Nominated Architect: Robert Gizzi (Reg. 8286)	DRAWING NAME:		0 2.5 5 7.5

ADDITIONAL INFORMATION

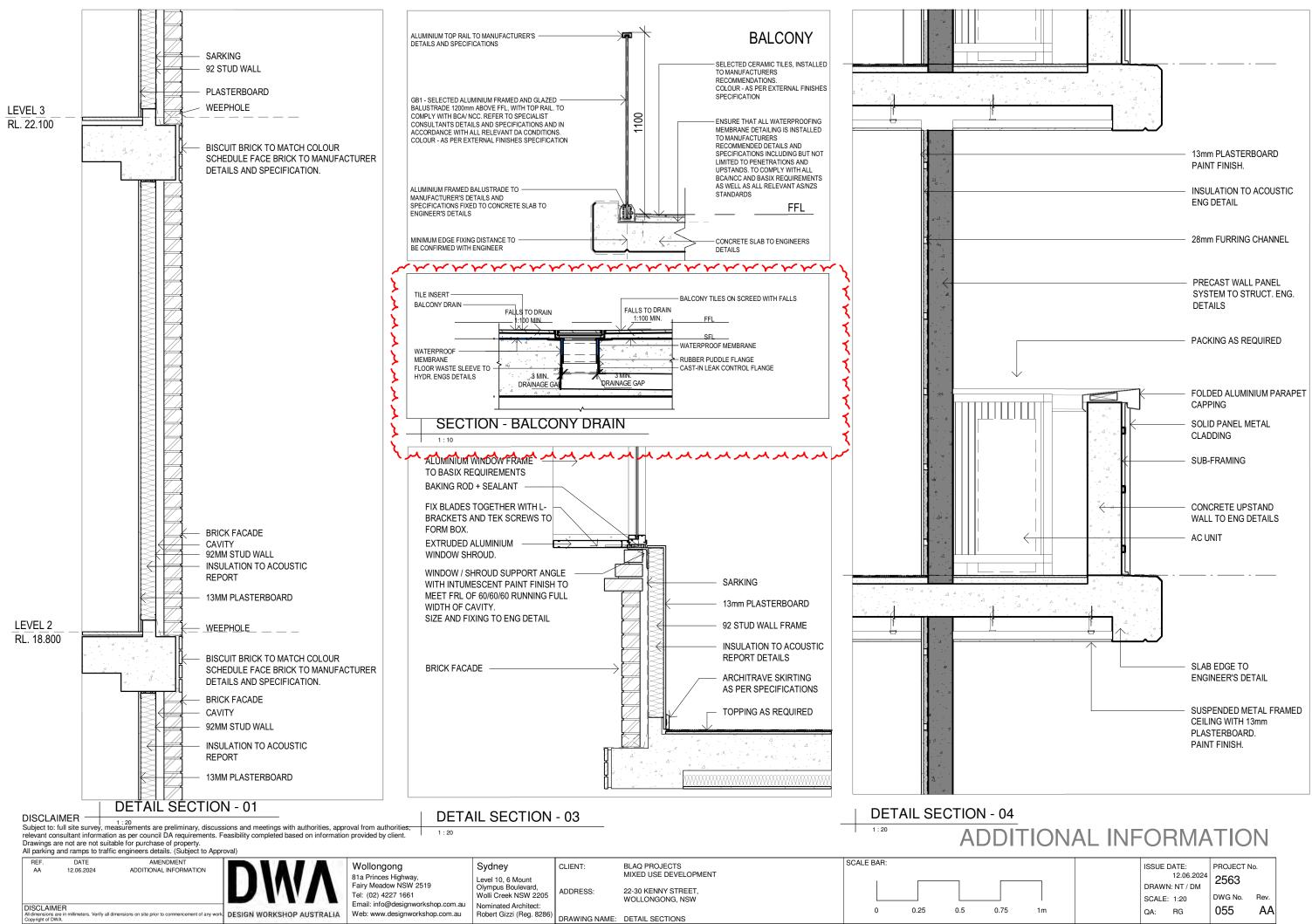
		ISSUE D		PROJECT N	lo.
			12.06.2024	2563	
		DRAWN	: NT/DM/ML	2000	
		SCALE:	1:250	DWG No.	Rev.
10 12.5m		QA:	RG	053	AA
	•			•	



SITE SECTION E-E 1 : 500

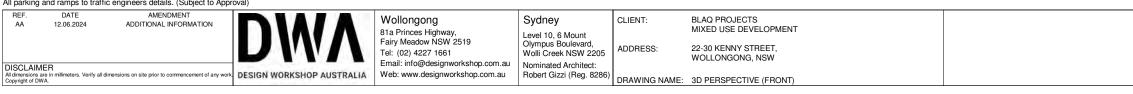
DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All narking and ramos to traffic engineers details. (Subject to Approval)

REF.	DATE	AMENDMENT		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS	SCALE BAR:	ISSUE DATE:	PROJECT No
AA	12.06.2024	ADDITIONAL INFORMATION		81a Princes Highway.	Level 10, 6 Mount	OLILITI.	MIXED USE DEVELOPMENT		12.06.202	
DISCLAIMI	D		DWA	Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Olympus Boulevard, Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW		DRAWN: NT/DM/M SCALE: 1:500	DWG No.
All dimensions ar Copyright of DW	e in millimeters. Verify all dim	ensions on site prior to commencement of any work	DESIGN WORKSHOP AUSTRALIA	Web: www.designworkshop.com.au	Robert Gizzi (Reg. 8286)	DRAWING NAME:	SITE SECTION E	0 5 10 15 20 25m	QA: RG	054



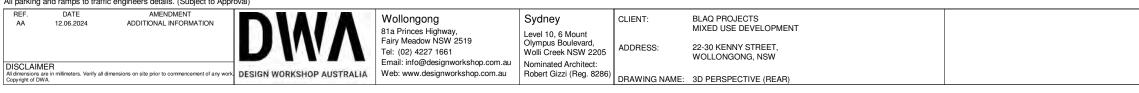
75 1m	ISSUE DATE: 12.06.2024 DRAWN: NT / DM SCALE: 1:20 QA: RG 055 AA
	A3





	ISSUE D		PROJECT N	0
	1330L L	12.06.2024		
	DRAWN	: NT/DM/ML		
	SCALE:		DWG No.	Rev.
	QA:	RG	061	AA

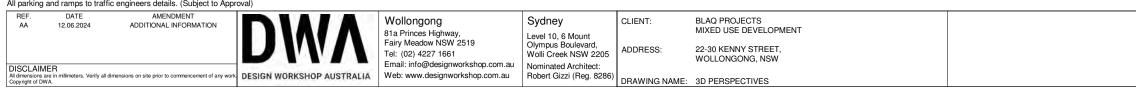






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	SCALE: QA:	RG	DWG No. 062	Rev. AA

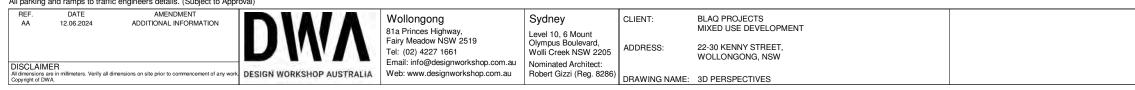






	ISSUE D	ATE: 12.06.2024 : NT/DM/ML	PROJECT N	lo.
	SCALE: QA:	RG	DWG No. 063	Rev. AA



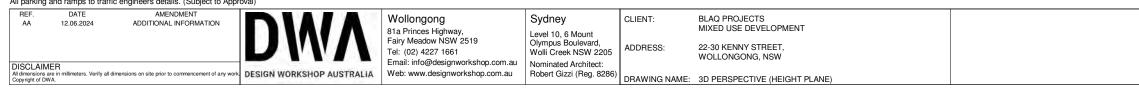




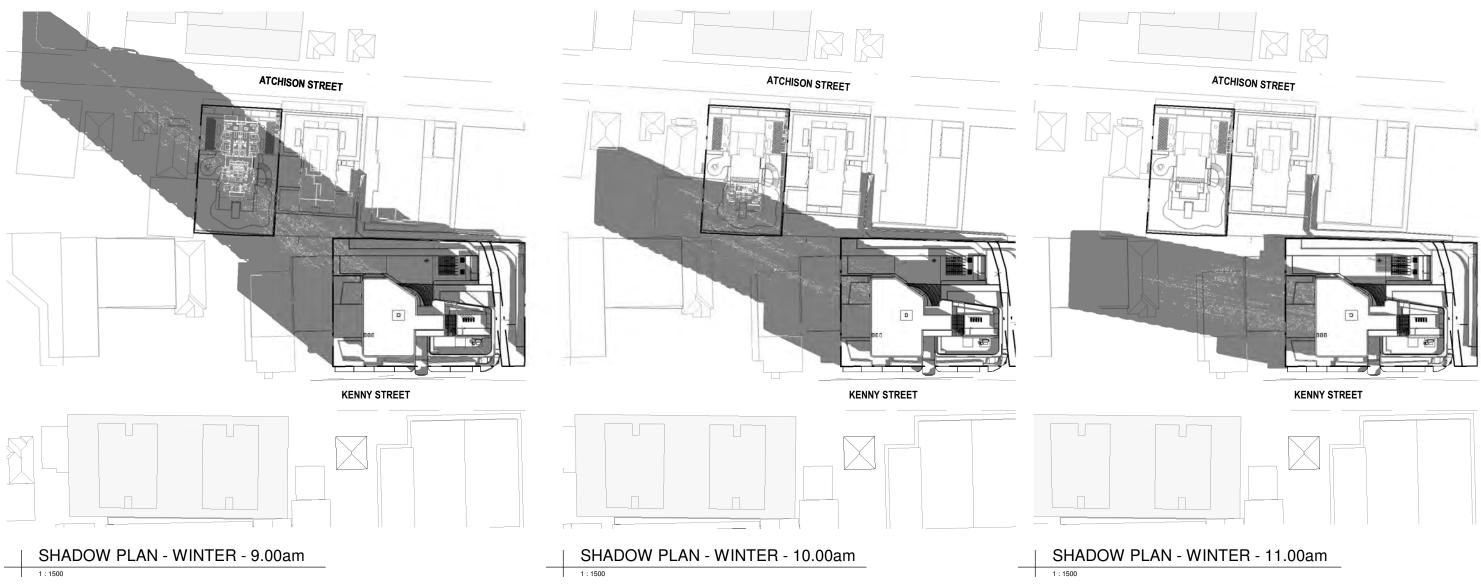
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	SCALE:		DWG No.	Rev.
	QA:	RG	064	AA
				A3





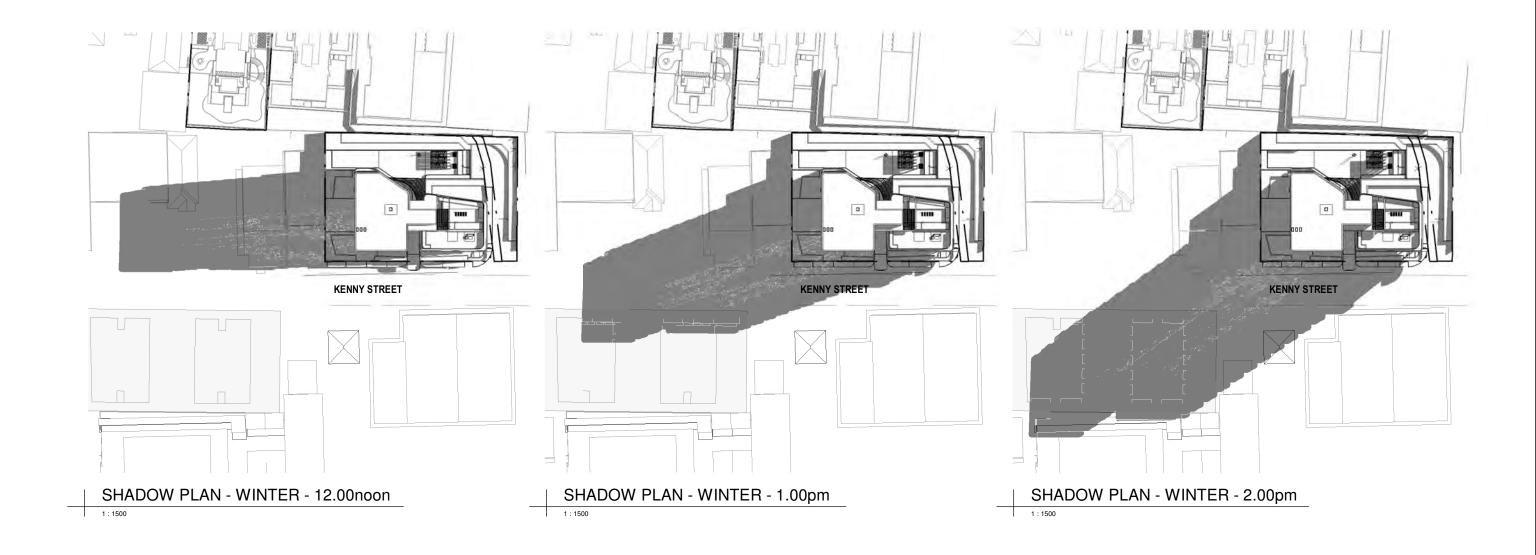


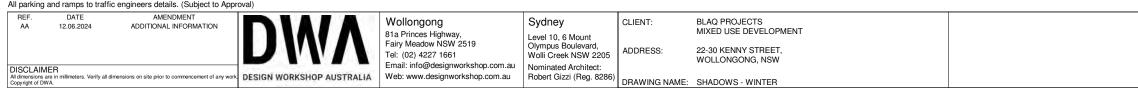
	ISSUE D	DATE:	PROJECT N	lo.
		12.06.2024	2563	
	DRAWN	: NT / DM	2000	
	SCALE:		DWG No.	Rev.
	QA:	RG	065	AA



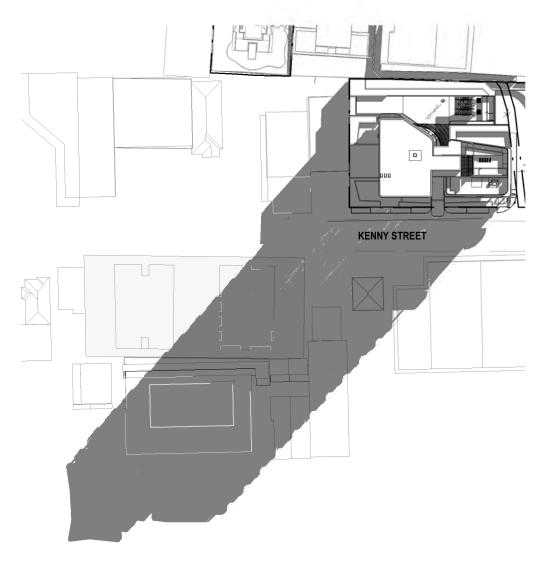
REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION	DIA/A	Wollongong	Sydney	CLIENT:	BLAQ PROJECTS	
~~	12.00.2024	ADDITIONAL INI ONIVIATION		81a Princes Highway,	Level 10, 6 Mount		MIXED USE DEVELOPMENT	
				Fairy Meadow NSW 2519	Olympus Boulevard,	ADDRESS:	22-30 KENNY STREET,	
				Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Wolli Creek NSW 2205		WOLLONGONG, NSW	
DISCLAIM		pansions on site prior to commancement of any work	DESIGN WORKSHOP AUSTRALIA		Nominated Architect:			
Copyright of DW	A.	indicine of the profile contransition and any work	DESIGN WORKSHOF AUSTRALIA	Web. WWW.debigiWorkbridp.com.au	Hobert Clizzi (Heg. 0200)	DRAWING NAME:	SHADOWS - WINTER	

	ISSUE D	DATE: 12.06.2024 : NT / DM	PROJECT N	lo.
	SCALE: QA:	RG	DWG No. 070	Rev. AA





	ISSUE D	ATE: 12.06.2024 : NT / DM	PROJECT N	0.
	SCALE: QA:	RG	dwg №. 071	Rev. AA



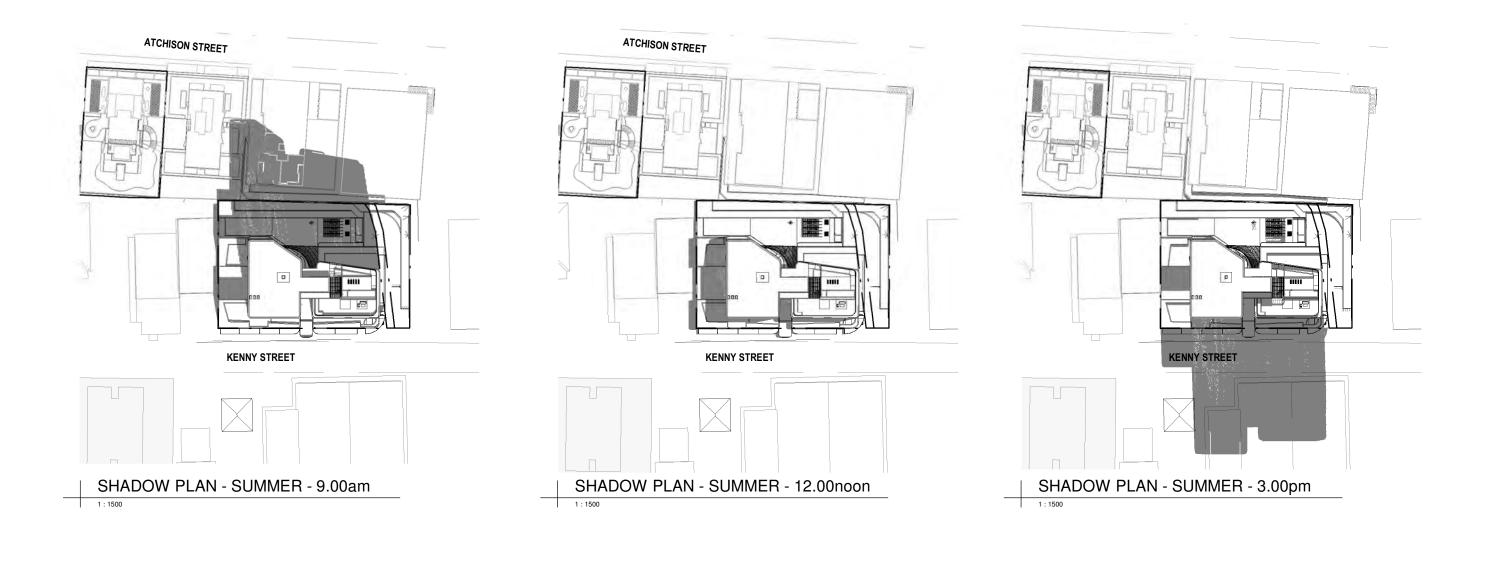
SHADOW PLAN - WINTER - 3.00pm

1 : 1500

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramos to traffic engineers details. (Subject to Approval)

g and ramps to traffic engineers details. (Subject to Approval)				
DATE AMENDMENT 12.06.2024 ADDITIONAL INFORMATION	Wollongong Sydne 81a Princes Highway, Level 10	Iney CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	
	Fairy Meadow NSW 2519OlympuTel: (02) 4227 1661Wolli Cr	pus Boulevard, Creek NSW 2205 ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
MER are in millimeters. Verify all dimensions on site prior to commencement of any work DESIGN WORKSHOP AUSTRAL WA.		inated Architect: ert Gizzi (Reg. 8286) DRAWING NAME:	SHADOWS - WINTER	

	ISSUE D	ATE: 12.06.2024 : NT / DM	PROJECT N	10.
	SCALE: QA:	RG	DWG No. 072	Rev. AA



REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	
			DWA	81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661	Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205	ADDRESS:	22-30 KENNY STREET, WOLLONGONG, NSW	
DISCLAIN All dimensions Copyright of D	are in millimeters. Verify all dir	nensions on site prior to commencement of any work.	DESIGN WORKSHOP AUSTRALIA	Email: info@designworkshop.com.au Web: www.designworkshop.com.au	Nominated Architect: Robert Gizzi (Reg. 8286)	DRAWING NAME:	SHADOWS - SUMMER	

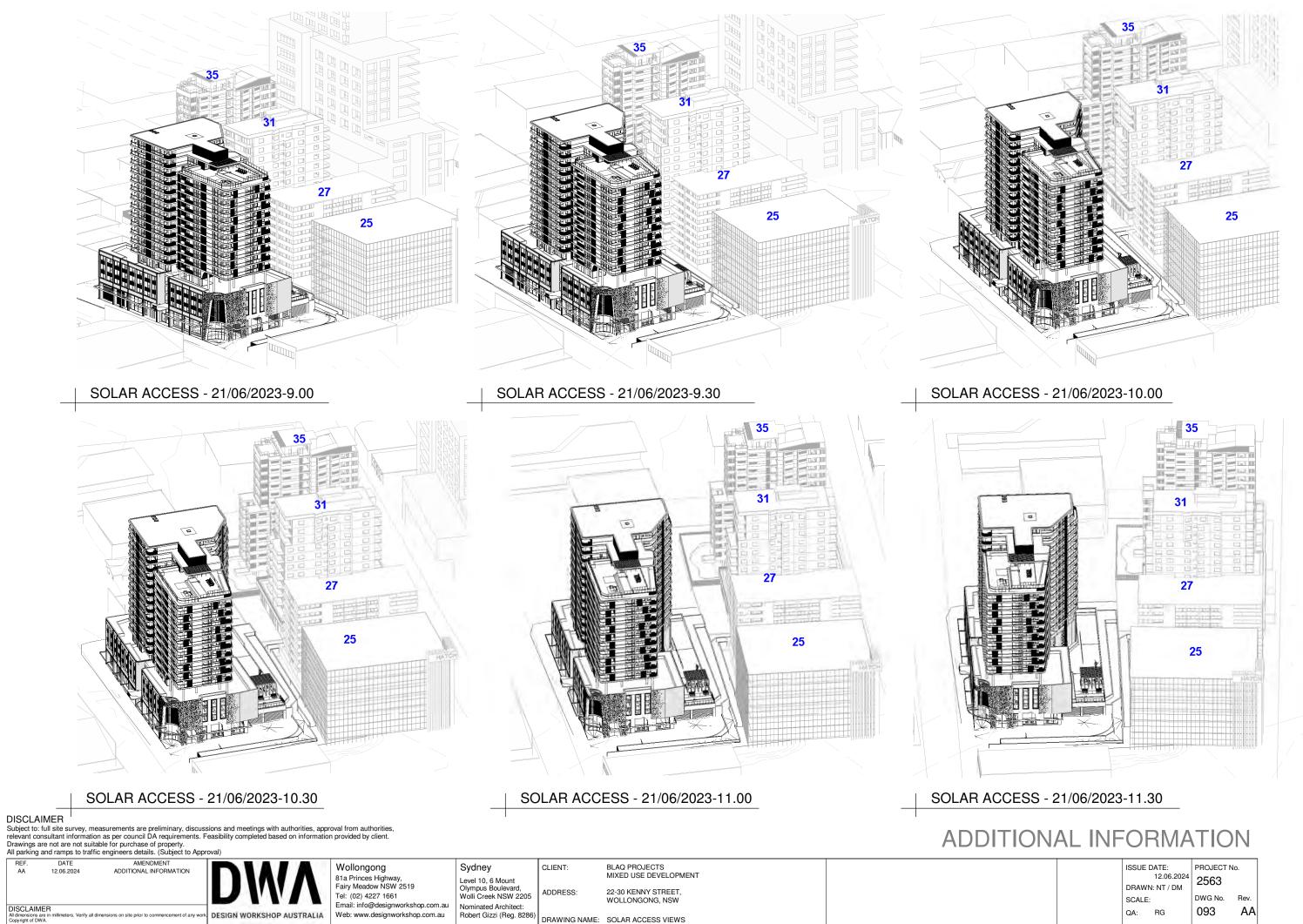
	ISSUE D	ATE: 12.06.2024 : NT / DM	PROJECT N 2563	lo.
	SCALE: QA:	RG	DWG No. 073	Rev. AA



REF. AA

	CROSS		•	
UNIT NO:	UNIT TYPE	CROSS VENT (YES/NO)	QTY	%
LEVEL 4				
401	1 BED	No	0	0.00
402	3 BED	Yes	1	2.13
403	2 BED	Yes	1	2.13
404	3 BED	Yes	1	2.13
LEVEL 5				
501	1 BED	No	0	0.00
502	2 BED	No	0	0.00
505	2 BED	Yes	1	2.13
506	2 BED	Yes	1	2.13
507	3 BED	Yes	1	2.13
508	2 BED	No	0	0.00
509	2 BED	Yes	1	2.13
LEVEL 6				
601	1 BED	No	0	0.00
602	2 BED	No	0	0.00
603	3 BED	Yes	1	2.13
604	3 BED	Yes	1	2.13
605	2 BED	Yes	1	2.13
606	2 BED	Yes	1	2.13
607	3 BED	Yes	1	2.13
608	2 BED	No	0	0.00
609	2 BED	Yes	1	2.13
LEVEL 7				
701	1 BED	No	0	0.00
702	2 BED	No	0	0.00
703	3 BED	Yes	1	2.13
704	3 BED	Yes	1	2.13
705	2 BED	Yes	1	2.13
706	2 BED	Yes	1	2.13
707	3 BED	Yes	1	2.13
708	2 BED	No	0	0.00
709	2 BED	Yes	1	2.13
LEVEL 8		165	'	2.10
801	1 BED	No	0	0.00
802	2 BED	No	0	0.00
803	3 BED	Yes	1	2.13
804	3 BED	Yes	1	2.13
805	2 BED	Yes	1	2.13
806	2 BED	Yes	1	2.13
807	3 BED	Yes	1	2.13
808	2 BED	No	0	0.00
809	2 BED	Yes	1	2.13
LEVEL 9		162		2.13
901	1 BED	No	0	0.00
901	2 BED	UVI		0.00
		Vaa		0.40
903	3 BED	Yes	1	2.13
904	3 BED	Yes	1	2.13
905	2 BED	Yes	1	2.13
906	2 BED	Yes	1	2.13
907	3 BED	Yes	1	2.13
908	2 BED	No	0	0.00
909	2 BED	Yes	1	2.13

	ISSUE D	ATE: 12.06.2024 : NT / DM	PROJECT N	lo.
	SCALE: QA:	RG	DWG No. 092	Rev. AA



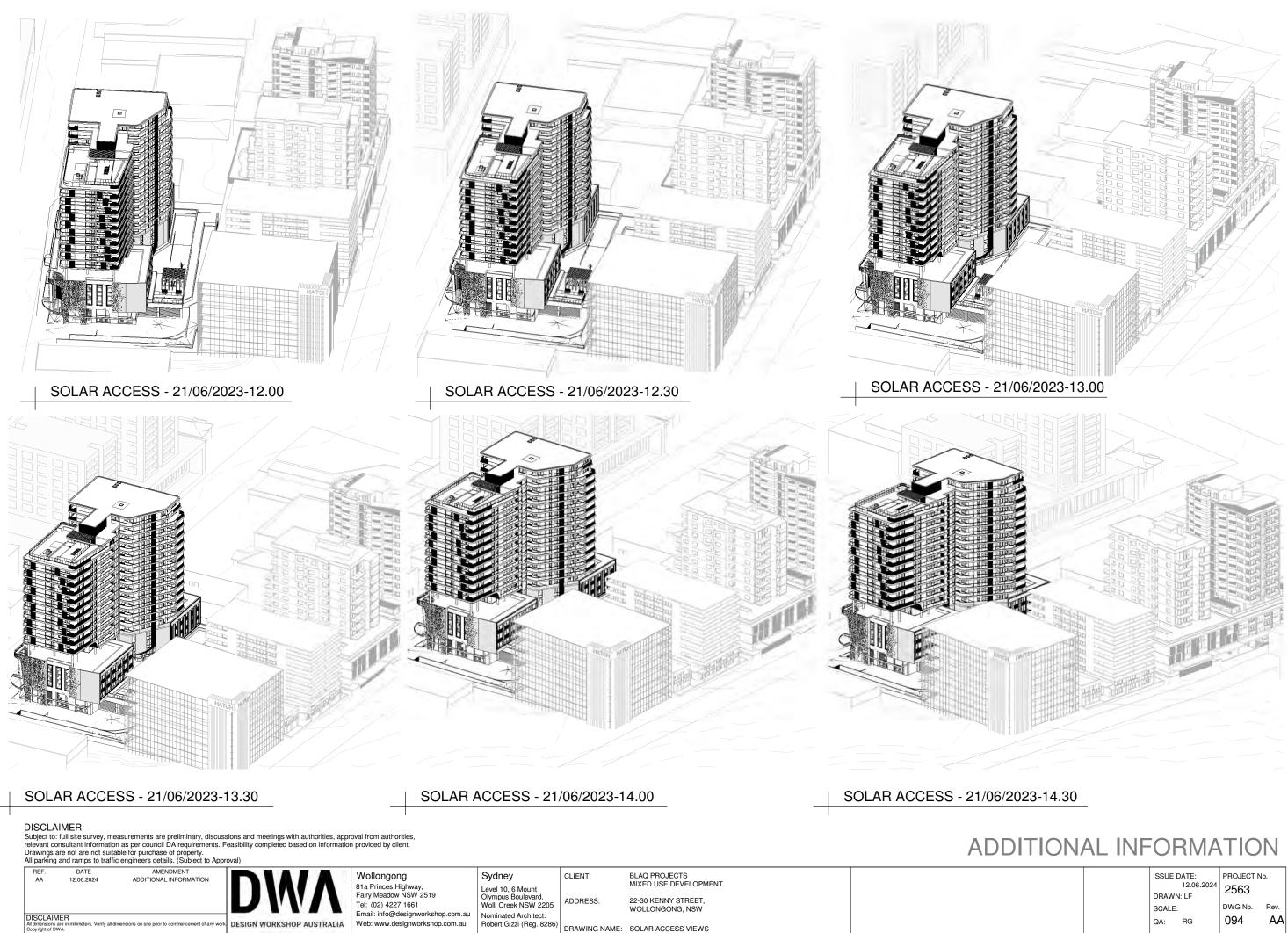
DESIGN WORKSHOP AUSTRALIA

Web: www.designworkshop.com.au

Robert Gizzi (Reg. 8286

DRAWING NAME: SOLAR ACCESS VIEWS

	ISSUE I DRAWN SCALE: QA:	12.06.2024 N: NT / DM	PROJECT N 2563 DWG No. 093	No. Rev. AA
				A3



	ISSUE D		PROJECT N	lo.
		12.06.2024	2563	
	DRAWN	: LF	2000	
	SCALE:		DWG No.	Rev.
	QA:	RG	094	AA

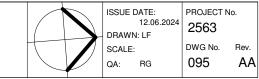
SOLAR ACCESS - 21/06/2023-15.00

401 1								Y)	HOURLY	/IPLIANCE (HALF-H	R CON	SOLAF								
4D2 3	6 NIL HRS		%		TA	1500	1430	1400	1330	1300		1200		1100	1030		0930	0900		
402 3 BED No No No No No Yes Yes Yes Yes No	0.00%	0	0.95%	1	2.0	No	Yes	Yes	Yes	Yes		No	No	No	No	No	No	No	1 BED	401
403 2 BED Yes Yes <th< td=""><td>0.00%</td><td>0</td><td>0.95%</td><td>1</td><td>2.5</td><td>No</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Ye</td><td>Yes</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>3 BED</td><td>402</td></th<>	0.00%	0	0.95%	1	2.5	No	Yes	Yes	Yes	Yes	Ye	Yes	No	No	No	No	No	No	3 BED	402
501 1	0.00%	0	0.95%	1	2.0	No	No	No	No	No		No	No	Yes	Yes	Yes	Yes	Yes	2 BED	403
502 2 BED No No <th< td=""><td>0.00%</td><td>0</td><td>0.95%</td><td>1</td><td>2.0</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>3 BED</td><td>404</td></th<>	0.00%	0	0.95%	1	2.0	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	3 BED	404
502 2 BED No No <th< td=""><td>0.00%</td><td>0</td><td>0.95%</td><td>1</td><td>20</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>1 BED</td><td>501</td></th<>	0.00%	0	0.95%	1	20	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	1 BED	501
506 2 BED Yes Yes <thyes< t<="" td=""><td>0.00%</td><td></td><td></td><td></td><td>-</td><td>-</td><td></td><td></td><td></td><td></td><td>-</td><td></td><td></td><td></td><td></td><td>-</td><td></td><td></td><td></td><td></td></thyes<>	0.00%				-	-					-					-				
507 3 BED Yes Yes Yes Yes No	0.00%	0	0.00%	0	1.0	No	No	No	No	No	No	No	No	No	No	Yes	Yes	Yes	2 BED	505
508 2 BED No No <th< td=""><td>0.00%</td><td>0</td><td>0.95%</td><td>1</td><td>2.0</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>2 BED</td><td>506</td></th<>	0.00%	0	0.95%	1	2.0	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	2 BED	506
509 2 BED No No No No No Yes Yes <thyes< th=""> <thyes< th=""> <thyes< th=""></thyes<></thyes<></thyes<>	0.00%				-								-							
601 1 BED No	0.95%					-										-				
602 2 BED No No <th< td=""><td>0.00%</td><td>U</td><td>0.95%</td><td>1</td><td>2.5</td><td>INO</td><td>res</td><td>res</td><td>res</td><td>res</td><td></td><td>res</td><td>INO</td><td>NO</td><td>NO</td><td>INO</td><td>INO</td><td>INO</td><td>2 BED</td><td>509</td></th<>	0.00%	U	0.95%	1	2.5	INO	res	res	res	res		res	INO	NO	NO	INO	INO	INO	2 BED	509
602 2 BED No No <th< td=""><td>0.00%</td><td>0</td><td>0.95%</td><td>1</td><td>20</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>1 BED</td><td>601</td></th<>	0.00%	0	0.95%	1	20	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	1 BED	601
604 3 BED Yes Yes Yes Yes Yes Yes No	0.00%				-	-								-		-			-	
605 2 BED Yes Yes Yes Yes Yes Yes No	0.00%	0	0.95%	1	2.0	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	3 BED	603
606 2 BED Yes Yes Yes Yes Yes No	0.00%				-						+ +					-			-	
607 3 BED Yes Yes Yes Yes No	0.00%								-		+ +		-			-				
608 2 BED No No <th< td=""><td>0.00%</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>-</td><td></td><td></td><td></td><td></td></th<>	0.00%															-				
609 2 BED No No No No No No No Yes Yes Yes Yes Yes No 2.5 1 0.95% 0 0 701 1 BED No	0.00%					-					+ +								-	
TOT 1 0 0 0 1 1 0 0 1 0 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 1 0 1 1 1 1 1 1 1	0.00%										Ye						<u> </u>		-	
702 2 2 D No No <td></td> <td>S</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>											S									
703 3 BED Yes Yes Yes Yes Yes No	0.00%	0	0.95%	1	2.0	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	1 BED	701
704 3 BED Yes Yes Yes Yes No	0.00%				-				+ +		+ +		-						-	
705 2 BED Yes Yes Yes Yes Yes Yes No	0.00%								+ +		+ +		-							
706 2 BED Yes Yes Yes Yes Yes Yes No	0.00%								+ +		+ +		-			-				-
708 2 BED No No <th< td=""><td>0.00%</td><td></td><td></td><td></td><td>-</td><td></td><td><u> </u></td><td></td><td>+ +</td><td></td><td>+ +</td><td></td><td>-</td><td></td><td></td><td>-</td><td></td><td></td><td></td><td></td></th<>	0.00%				-		<u> </u>		+ +		+ +		-			-				
709 2 BED No No No No No No Yes Yes Yes Yes Yes No 2.5 1 0.95% 0 0 801 1 BED No	0.00%				-		<u> </u>		-		+ +		-			-			-	
801 1 BED No No <th< td=""><td>0.95%</td><td>1</td><td>0.00%</td><td>0</td><td>0.0</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>2 BED</td><td>708</td></th<>	0.95%	1	0.00%	0	0.0	No	No	No	No	No	No	No	No	No	No	No	No	No	2 BED	708
802 2 BED No No <th< td=""><td>0.00%</td><td>0</td><td>0.95%</td><td>1</td><td>2.5</td><td>No</td><td>Yes</td><td>Yes</td><td>Yes</td><td>Yes</td><td></td><td>Yes</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>No</td><td>2 BED</td><td>709</td></th<>	0.00%	0	0.95%	1	2.5	No	Yes	Yes	Yes	Yes		Yes	No	No	No	No	No	No	2 BED	709
802 2 BED No No <th< td=""><td>0.000/</td><td></td><td>0.05%</td><td>4</td><td></td><td></td><td>Maa</td><td>No.</td><td></td><td>N</td><td></td><td>NI-</td><td></td><td></td><td>NI-</td><td>NI-</td><td></td><td>No</td><td></td><td>004</td></th<>	0.000/		0.05%	4			Maa	No.		N		NI-			NI-	NI-		No		004
803 3 BED Yes Yes Yes Yes No	0.00%										+ +		+ +							
805 2 BED Yes Yes Yes Yes Yes No	0.00%																			
806 2 BED Yes Yes Yes Yes Yes No	0.00%					-			No		+ +		-							
807 3 BED Yes Yes Yes Yes Yes No	0.00%	0		1	2.0	No	No		No	No	No	No	No	Yes	Yes	Yes	Yes	Yes		805
	0.00%										+ +					-				
808 2 BED NO NO NO NO NO NO NO N	0.00%												-							
809 2 BED No No No No No No No Yes Ye Yes Yes Yes Yes 3.0 1 0.95% 0	0.95%				-								-			-				-
	0.0070	0	0.5570	·	5.0	103	103	103	103	163		103			110					005
901 1 BED No No No No No No No Yes Yes Yes Yes Yes 2.0 1 0.95% 0 0	0.00%		0.05%	1	20	Vac	Voo	Voo	Vaa	Vee	No	No	No	No	No	No	No	No		001
	0.00%										-		-			-			-	-
	0.00%				-	-					+ +					-				
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	0.95%				-								-	1		-			-	-
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UNIT	UNIT			100			113		12						TO TA	2HR		NIL	
NO.	TYPE	0900	0930	0	1030	1100	0	1200	30	1300	1330	1400	1430	1500		S	%	HRS	% NIL HR
1001	1 BED	No	No	No	No	No	No	No	No	Yes	Voo	Yes	Yes	Voc	2.0	1	0.95%	0	0.00%
1001	2 BED	No	No	No	No	No	No No	No	No	No	Yes No	Yes	Yes	Yes Yes	1.0	0	0.95%	0	0.00%
1003	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1004	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	Yes	No	2.5	1	0.95%	0	0.00%
1005	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1006	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1007 1008	3 BED 2 BED	Yes No	Yes No	Yes No	Yes No	Yes No	No No	No No	No No	No No	No No	No No	No No	No No	2.0	1	0.95%	0	0.00%
1009	2 BED	No	No	No	No	No	No	Yes	Ye	Yes	Yes	Yes	Yes	Yes	3.0	1	0.95%	0	0.00%
									S										
1101 1102	1 BED 2 BED	No No	No No	No No	No No	No No	No No	No No	No No	Yes No	Yes No	Yes Yes	Yes Yes	Yes Yes	2.0	1 0	0.95%	0	0.00%
1102	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.00%	0	0.00%
1104	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	Yes	No	2.5	1	0.95%	0	0.00%
1105	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1106	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1107	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1108 1109	2 BED 2 BED	No No	No No	No No	No No	No No	No No	No Yes	No Ye	No Yes	No Yes	No Yes	No Yes	No Yes	0.0	0	0.00%	1	0.95%
									S										
1201	1 BED	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	2.0	1	0.95%	0	0.00%
1202	2 BED	No	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	1.5	0	0.00%	0	0.00%
1203	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1204	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	Yes	No	2.5	1	0.95%	0	0.00%
1205	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1206	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1207 1208	3 BED 2 BED	Yes No	Yes No	Yes No	Yes No	Yes No	No No	No No	No No	No No	No No	No No	No No	No No	2.0	1	0.95%	0	0.00%
1200	2 BED	No	No	No	No	No	No	Yes	Ye	Yes	Yes	Yes	Yes	Yes	3.0	1	0.00 %	0	0.00%
									S										
1301	1 BED	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	-	1	0.95%	0	0.00%
1302 1303	2 BED 3 BED	No Yes	No Yes	No Yes	No Yes	No Yes	No No	No No	No No	No No	No No	Yes No	Yes No	Yes No	1.0 2.0	0	0.00%	0	0.00%
1303	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	Yes	No	2.5	1	0.95%	0	0.00%
1305	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1306	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1307	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1308	2 BED	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	2.0	1	0.95%	0	0.00%
1309	2 BED	No	No	No	No	No	No	Yes	Ye s	Yes	Yes	Yes	Yes	Yes	3.0	1	0.95%	0	0.00%
1401	1 BED	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	2.0	1	0.95%	0	0.00%
1402	2 BED	No	No	No	No	No	No	No	No	No	No	Yes	Yes	Yes	1.0	0	0.00%	0	0.00%
1403	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1404	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	Yes	No	2.5	1	0.95%	0	0.00%
1405	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1406	2 BED 3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No No	No No	No	No	No	No	2.0	1	0.95%	0	0.00%
1407 1408	2 BED	Yes No	Yes No	Yes No	Yes No	Yes No	No No	No No	No	No	No No	No No	No No	No No	0.0	0	0.95%	1	0.00%
1409	2 BED	No	No	No	No	No	No	Yes	Ye	Yes	Yes	Yes	Yes	Yes	3.0	1	0.95%	0	0.00%
									S										
1501	1 BED	No	No	No	No	No	No	No	No	Yes	Yes	Yes	Yes	Yes	-	1	0.95%	0	0.00%
1502	2 BED	No	No	No	No	No	No	No	No	No	No	Yes	Yes	Yes	1.0	0	0.00%	0	0.00%
1503	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
504 505	3 BED 2 BED	Yes Yes	Yes Yes	Yes Yes	Yes Yes	Yes Yes	No No	No No	No No	No No	No No	No No	Yes No	No No	2.5 2.0	1	0.95%	0	0.00%
1505	2 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1507	3 BED	Yes	Yes	Yes	Yes	Yes	No	No	No	No	No	No	No	No	2.0	1	0.95%	0	0.00%
1508	2 BED	No	No	No	No	No	No	No	No	No	No	No	No	No	0.0	0	0.00%	1	0.95%
1509	2 BED	No	No	No	No	No	No	Yes	Ye s	Yes	Yes	Yes	Yes	No	2.5	1	0.95%	0	0.00%
1601	4 BED	No	No	No	No	No	No	Yes	Ye	Yes	Yes	Yes	Yes	Yes	3.0	1	0.95%	0	0.00%
									s										
602 603	4 BED 4 BED	No Yes	No Yes	No Yes	No Yes	No Yes	No Yes	No Yes	No Ye	Yes Yes	Yes Yes	Yes Yes	Yes Yes	Yes Yes	-	1	0.95%	0	0.00%
			100		.03	100	100	100	S	100	100	103	100	100	0.0	1	0.0070	Ŭ	0.0070
1604	3 BED	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Ye	Yes	Yes	Yes	Yes	Yes	6.0	1	0.95%	0	0.00%

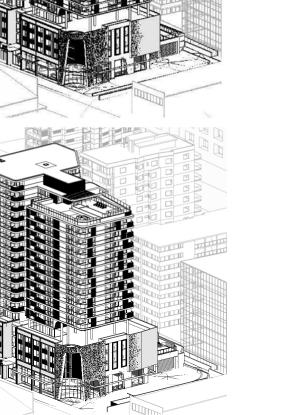
DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property.

0.55	B + 75							
REF.	DATE	AMENDMENT		Wollongong	Sydney	CLIENT:	BLAQ PROJECTS	
AA	12.06.2024	ADDITIONAL INFORMATION		0 0	Oyuncy	OLIENT.	MIXED USE DEVELOPMENT	
				81a Princes Highway,	Level 10, 6 Mount		MIXED USE DEVELOPMENT	
				Fairy Meadow NSW 2519	Olympus Boulevard,			
				. ,		ADDRESS:	22-30 KENNY STREET,	
				Tel: (02) 4227 1661	Wolli Creek NSW 2205		WOLLONGONG, NSW	
DISCLAIN	FD			Email: info@designworkshop.com.au	Nominated Architect:		noleonaona, non	
DISCLAIN			DESIGN WORKSHOP AUSTRALIA	Web: www.designworkshop.com.au	Robert Gizzi (Reg. 8286)			
Copyright of DV	re in millimeters. verity all din /A	ensions on site prior to commencement of any work	DESIGN WORKSHOP AUSTRALIA	web. www.designworkshop.com.au	Robert Gizzi (Reg. 8286)	DRAWING NAME:	SOLAR ACCESS VIEWS	











APPROVED DA

PROPOSED DA

AMENDED FORM

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)



Wollongong 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au

Sydney CLIENT: Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 ADDRESS: Nominated Architect: Robert Gizzi (Reg. 8286 DRAWING NAME: SOLAR ACCESS COMPARATIVE ANALYSIS

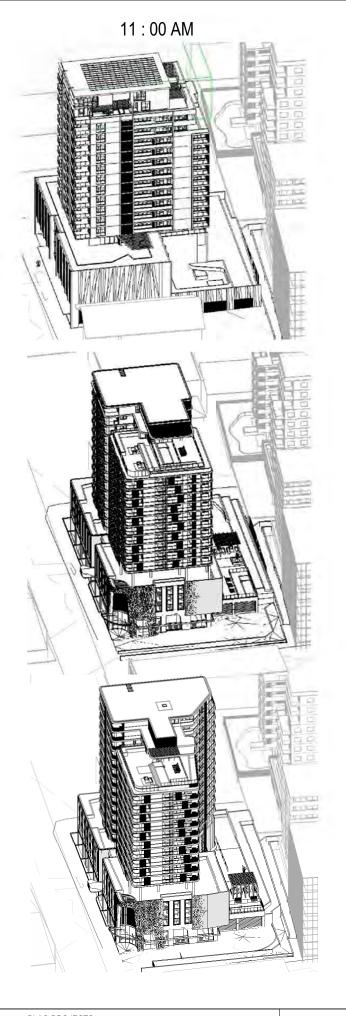
BLAQ PROJECTS MIXED USE DEVELOPMENT 22-30 KENNY STREET, WOLLONGONG, NSW

10 : 00 AM



ISSUE DATE: PROJECT No. 12.06.2024 2563 DRAWN: LF DWG No. Rev. SCALE: 096 QA: RG AA





APPROVED DA

PROPOSED DA

AMENDED FORM

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)



Wollongong 81a Princes Highway, Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au Web: www.designworkshop.com.au

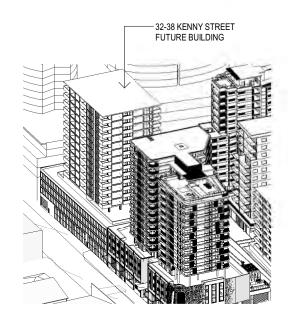
Sydney CLIENT: Level 10, 6 Mount Olympus Boulevard, Wolli Creek NSW 2205 ADDRESS: Nominated Architect: Robert Gizzi (Reg. 8286 DRAWING NAME: SOLAR ACCESS COMPARATIVE ANALYSIS

BLAQ PROJECTS MIXED USE DEVELOPMENT 22-30 KENNY STREET, WOLLONGONG, NSW

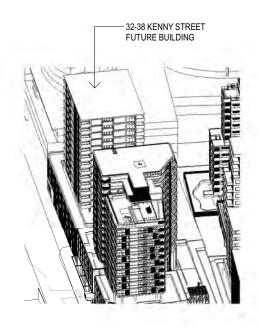




SOLAR ACCESS - 21 06 2023-9.00



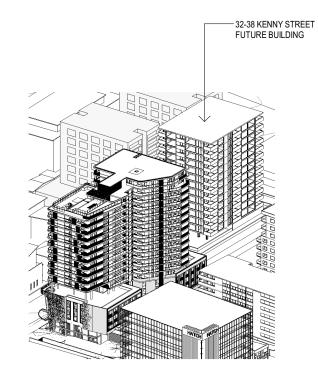
SOLAR ACCESS - 21 06 2023-10.00



SOLAR ACCESS - 21 06 2023-11.00



SOLAR ACCESS - 21_06_2023-13.00



SOLAR ACCESS - 21 06 2023-14.00



SOLAR ACCESS - 21_06_2023-15.00

DISCLAIMER Subject to: full site survey, measurements are preliminary, discussions and meetings with authorities, approval from authorities, relevant consultant information as per council DA requirements. Feasibility completed based on information provided by client. Drawings are not are not suitable for purchase of property. All parking and ramps to traffic engineers details. (Subject to Approval)





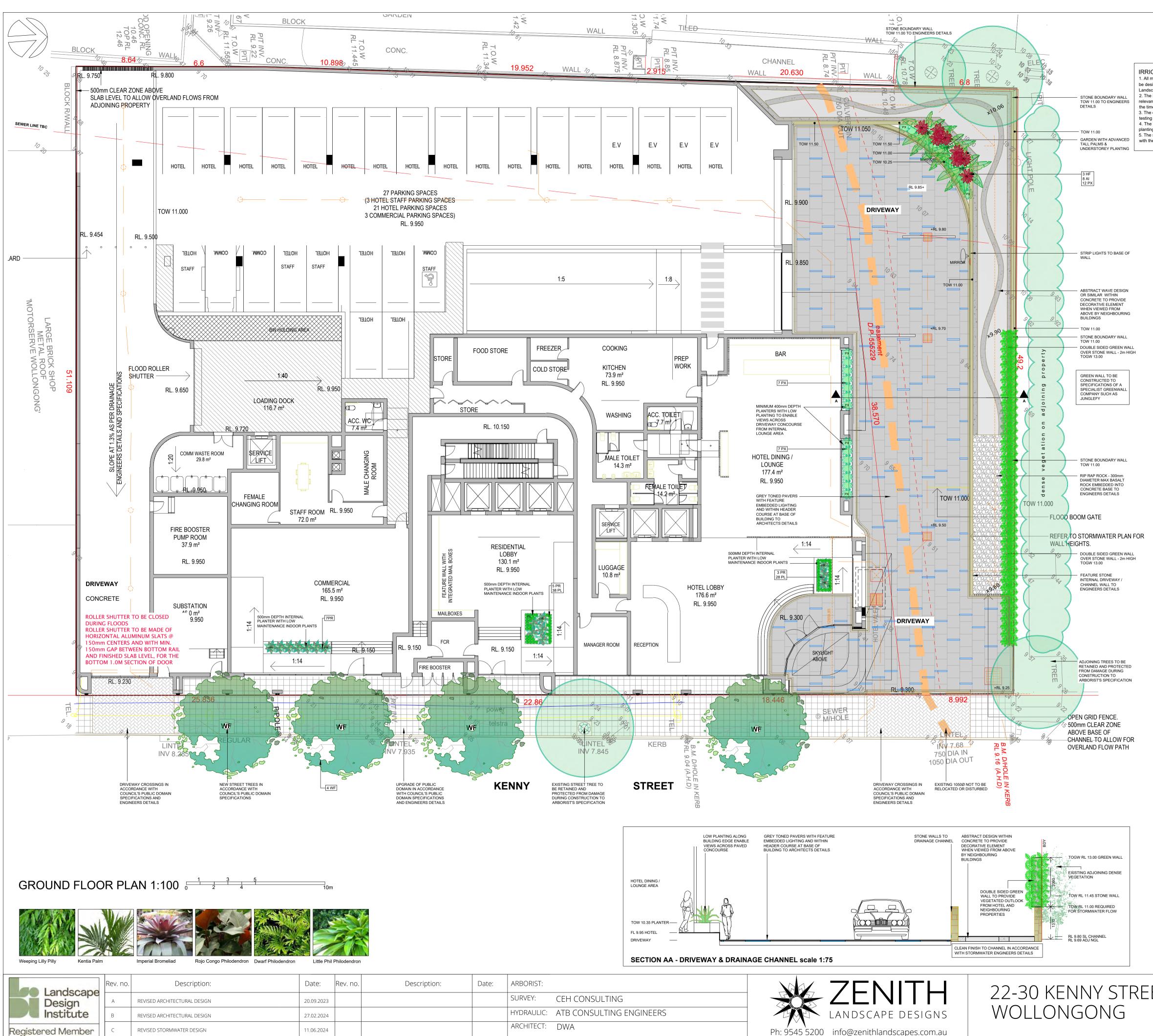
SOLAR ACCESS - 21 06 2023-12.00

	ISSUE D	12.06.2024	PROJECT N 2563	lo.
	DRAWN SCALE: QA:	: LF RG	DWG No.	Rev. AA

UNIT NO:	HOURS OF SOLAR ACCESS:	TOTAL HOURS:	2 HOURS
UNIT 1	2PM - 3PM	1 HRS	0
UNIT 2	9AM - 11AM	2 HRS	1
UNIT 3	9AM - 11AM	2 HRS	1
UNIT 4	9AM - 11AM	2 HRS	1
UNIT 5	1PM - 2PM	1 HR	0
UNIT 6	1PM - 2PM	1 HR	0
UNIT 7	1PM - 3PM	2 HRS	1
UNIT 8	2PM - 3PM	1 HRS	0
UNIT 9	9AM - 11AM	2 HRS	1
UNIT 10	9AM - 11AM	2 HRS	1
UNIT 11	9AM - 11AM	2 HRS	1
UNIT 12	1PM - 2PM	1 HR	0
UNIT 13	1PM - 2PM	1 HR	0
UNIT 14	1PM - 3PM	2 HRS	1
UNIT 15	2PM - 3PM	1 HRS	0
UNIT 16	9AM - 11AM	2 HRS	1
UNIT 17	9AM - 11AM	2 HRS	1
UNIT 18	9AM - 11AM	2 HRS	1
UNIT 19	1PM - 2PM	1 HR	0
UNIT 20	1PM - 2PM	1 HR	0
UNIT 21	1PM - 3PM	2 HRS	1
UNIT 22	2PM - 3PM	1 HRS	0
UNIT 23	9AM - 11AM	2 HRS	1
UNIT 24	9AM - 11AM	2 HRS	1
UNIT 25	9AM - 11AM	2 HRS	1
UNIT 26	1PM - 2PM	1 HR	0
UNIT 27	1PM - 2PM	1 HR	0
UNIT 28	1PM - 3PM	2 HRS	1
UNIT 29	2PM - 3PM	2 HRS	0
UNIT 30	9AM - 11AM	2 HRS	1
UNIT 31	9AM - 11AM	2 HRS	1
UNIT 32	9AM - 11AM	2 HRS	1
UNIT 33	1PM - 3PM	2 HRS	1
UNIT 34	1PM - 3PM	2 HRS	1
UNIT 35	1PM - 3PM	2 HRS	1
UNIT 36	2PM - 3PM	2 HRS	0
UNIT 37	9AM - 11AM	2 HRS	1
UNIT 38	9AM - 11AM	2 HRS	1
UNIT 39	9AM - 11AM	2 HRS	1
UNIT 40	1PM - 3PM	2 HRS	1
UNIT 41	1PM - 3PM	2 HRS	1
UNIT 42	1PM - 3PM	2 HRS	1
	2PM - 3PM	1 HRS	
UNIT 43 UNIT 44		2 HRS	0
	9AM - 11AM		1
UNIT 45 UNIT 46	9AM - 11AM 9AM - 11AM	2 HRS 2 HRS	1

UNIT NO:	HOURS OF SOLAR ACCESS:	TOTAL HOURS:	2 HOU
UNIT 47	1PM - 3PM	2 HRS	1
UNIT 48	1PM - 3PM	2 HRS	1
UNIT 49	1PM - 3PM	2 HRS	1
UNIT 50	2PM - 3PM	1 HRS	0
UNIT 51	9AM - 11AM	2 HRS	1
UNIT 52	9AM - 11AM	2 HRS	1
UNIT 53	9AM - 11AM	2 HRS	1
UNIT 54	1PM - 3PM	2 HRS	1
UNIT 55	1PM - 3PM	2 HRS	1
UNIT 56	1PM - 3PM	2 HRS	1
UNIT 57	1PM - 3PM	2 HRS	1
UNIT 58	9AM - 11AM	2 HRS	1
UNIT 59	9AM - 11AM	2 HRS	1
UNIT 60	9AM - 11AM	2 HRS	1
UNIT 61	1PM - 3PM	2 HRS	1
UNIT 62	1PM - 3PM	2 HRS	1
UNIT 63	1PM - 3PM	2 HRS	1
UNIT 64	1PM - 3PM	2 HRS	1
UNIT 65	9AM - 11AM	2 HRS	1
UNIT 66	9AM - 11AM	2 HRS	1
UNIT 67	9AM - 11AM	2 HRS	1
UNIT 68	1PM - 3PM	2 HRS	1
UNIT 69	1PM - 3PM	2 HRS	1
UNIT 70	1PM - 3PM	2 HRS	1
UNIT 71	1PM - 3PM	2 HRS	1
UNIT 72	9AM - 11AM	2 HRS	1
UNIT 73	9AM - 11AM	2 HRS	1
UNIT 74	9AM - 11AM	2 HRS	1
UNIT 75	1PM - 3PM	2 HRS	1
UNIT 76	1PM - 3PM	2 HRS	1
UNIT 77	1PM - 3PM	2 HRS	1
UNIT 78	1PM - 3PM	2 HRS	1
UNIT 79	9AM - 11AM	2 HRS	1
UNIT 80	9AM - 11AM	2 HRS	1
UNIT 81	9AM - 11AM	2 HRS	1
UNIT 82	1PM - 3PM	2 HRS	1
UNIT 83	1PM - 3PM	2 HRS	1
UNIT 84	1PM - 3PM	2 HRS	1
UNIT 85	1PM - 3PM	2 HRS	1
UNIT 86	9AM - 11AM	2 HRS	1
UNIT 87	9AM - 11AM	2 HRS	1
UNIT 89	9AM - 11AM	2 HRS	1
UNIT 90	1PM - 3PM	2 HRS	1
UNIT 91	1PM - 3PM	2 HRS	1

REF. AA	DATE 12.06.2024	AMENDMENT ADDITIONAL INFORMATION		Wollongong 81a Princes Highway.	Sydney Level 10, 6 Mount	CLIENT:	BLAQ PROJECTS MIXED USE DEVELOPMENT	ISSUE DATE: 12.06.202	24 2563	No.
			DWA	Fairy Meadow NSW 2519 Tel: (02) 4227 1661 Email: info@designworkshop.com.au	Olympus Boulevard, Wolli Creek NSW 2205		22-30 KENNY STREET, WOLLONGONG, NSW	DRAWN: NT / DM/ SCALE:	ML 2303	Rev.
DISCLAIME All dimensions are Copyright of DWA	in millimeters. Verify all din	nensions on site prior to commencement of any wo		Web: www.designworkshop.com.au	Robert Gizzi (Reg. 8286)	DRAWING NAME	FUTURE CONTEXT - SOLAR CALCULATIONS	QA: RG	098	AA

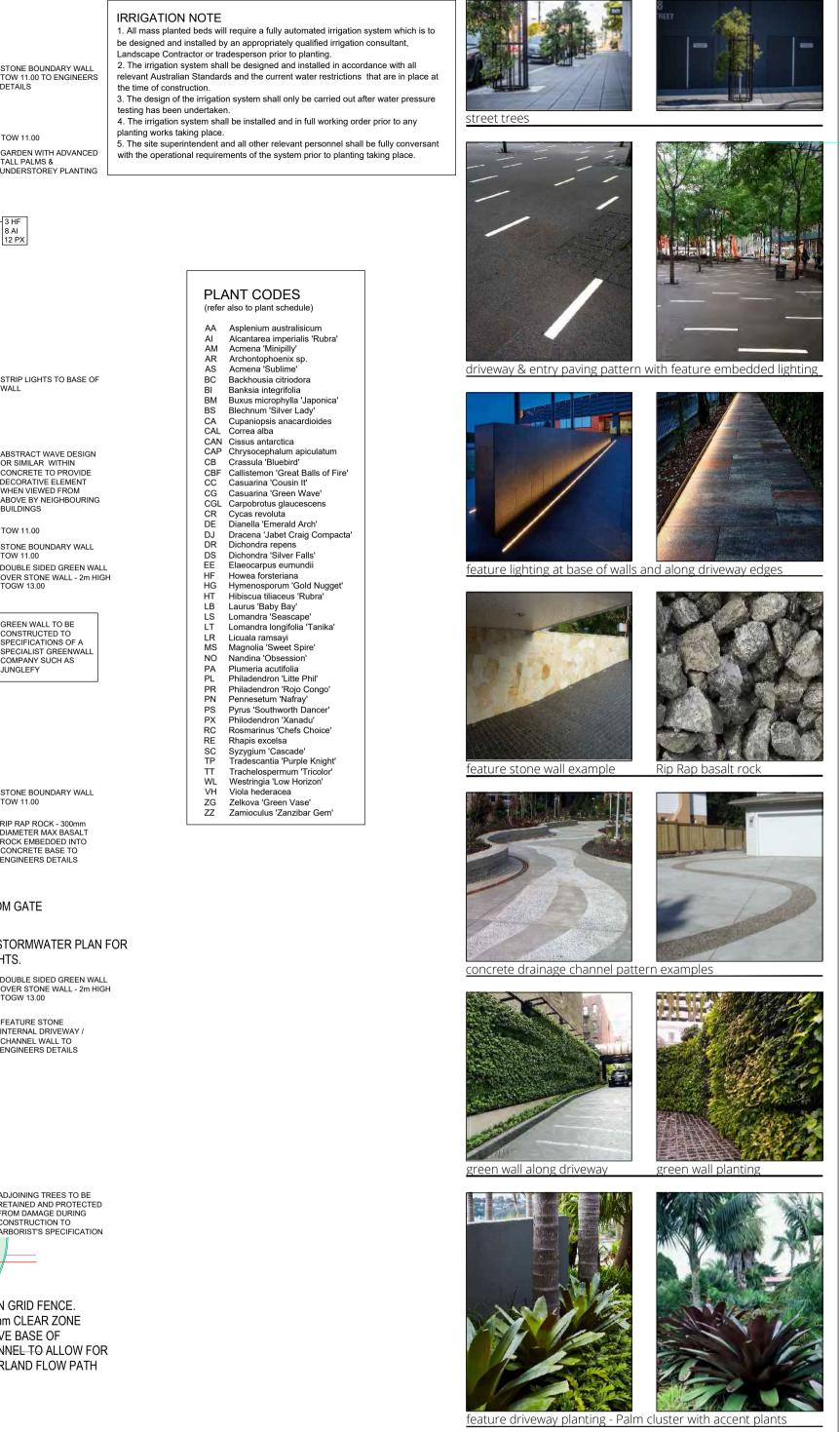


	Rev. no.	Description:	Date:	Rev. no.	Description:	Date:	ARBORIST:	
Landscape Design	А	REVISED ARCHITECTURAL DESIGN	20.09.2023				SURVEY:	CEH
Institute	В	REVISED ARCHITECTURAL DESIGN	27.02.2024				HYDRAULIC:	ATB
Registered Member	С	REVISED STORMWATER DESIGN	11.06.2024				ARCHITECT:	DW

DIAL 1100 BEFORE YOU DIG www.1100.com.au

A1

sample project images



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NOTES

pavement areas.

- 1. Vehicular pavement, fencing and built structure details shall be to Architect's specification. 2. All surface and sub-surface drainage requirements shall be to Engineers details.
- 3. Numeric dimensions should be taken in preference to scaling. 4. All dimensions should be checked on-site prior to commencing construction.
- 5. Contractors shall verify the location of all site features prior to commencing works 6. Soil testing has not been undertaken as part of the preparation of this design; Contractors shall determine the need for soil testing prior to any planting works.
- 7. A search of underground services has not been undertaken as part of the preparation of this design; it is recommended that Contractors contact DIAL BEFORE YOU DIG ON 1100 prior to commencing any works.
- 8. This plan is to be read in conjunction with the architectural and engineering plans 9. It is recommended that an approved root barrier be installed to manufacturers recommendations to all tree planting in the vicinity of structures, walls and hard

NOT FOR CONSTRUCTION

· – –	TITLE: LANDSCAPE PLAN						
:El	status: DA	SCALES: 1:15	0				
	CHECKED: MFG	SHEET 1 OF 5	REVISION:				
	DRAWN: MAG	DRAWING No.	C				
	DATE: 14.09.2023	23-4939 LO1					



	Rev. no.	Description:	Date:	Rev. no.	Description:	Date:	ARBORIST:	
Landscape Design	A	REVISED ARCHITECTURAL DESIGN	20.09.2023				SURVEY:	CEH
Institute	В	REVISED ARCHITECTURAL DESIGN	27.02.2024				HYDRAULIC:	ATE
Registered Member	С	REVISED STORMWATER DESIGN	11.06.2024				ARCHITECT:	DW

EH CONSULTING **FB CONSULTING ENGINEERS** WA

DESIGNS

Ph: 9545 5200 info@zenithlandscapes.com.au

22-30 KENNY STREE WOLLONGONG









	1		
	TITLE: LANDSCAF	PE PLAN	
<u>-</u>	status: DA	SCALES: 1:15	0
	CHECKED: MFG	SHEET 2 OF 5	REVISION:
	drawn: MAG	DRAWING No.	C
	DATE: 14.09.2023	23-4939 LO2	C

A1



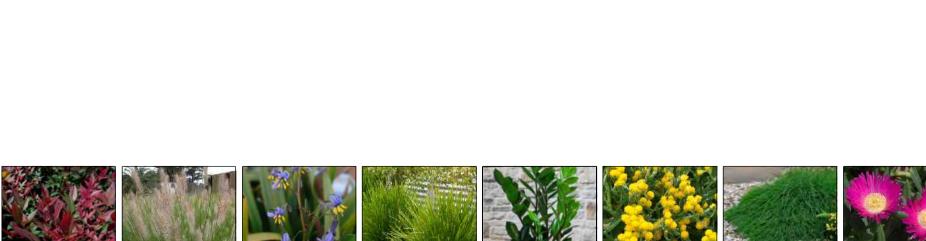
Dwarf Lilly Pilly Dwarf Callistemon Dwarf Bay Tree Bangalow Palm Red Cottonwood Happy Plant Coastal Correa Tuckeroo Rosemary Date: Date: ARBORIST: Description: Description: Rev. no. Rev. no. Landscape SURVEY: Design REVISED ARCHITECTURAL DESIGN 20.09.2023 Institute REVISED ARCHITECTURAL DESIGN 27.02.2024 ARCHITECT: DWA **Registered Member** 11.06.2024 REVISED STORMWATER DESIGN



















(refer	also to plant schedule)
AA	Asplenium australisicum
AI	Alcantarea imperialis 'Rubra'
AM	Acmena 'Minipilly'
AR	Archontophoenix sp.
AS	Acmena 'Sublime'
BC	Backhousia citriodora
BI	Banksia integrifolia
BM	Buxus microphylla 'Japonica'
BS	Blechnum 'Silver Lady'
CA	Cupaniopsis anacardioides
CAL	Correa alba
CAN	Cissus antarctica
CAP	Chrysocephalum apiculatum
CB	Crassula 'Bluebird'
CBF	Callistemon 'Great Balls of Fire'
CC CG	Casuarina 'Cousin It' Casuarina 'Green Wave'
CGL	Carpobrotus glaucescens
CR	Cycas revoluta
DE	Dianella 'Emerald Arch'
DJ	Dracena 'Jabet Craig Compacta'
DR	Dichondra repens
DS	Dichondra 'Silver Falls'
EE	Elaeocarpus eumundii
HF	Howea forsteriana
HG	Hymenosporum 'Gold Nugget'
HT	Hibiscua tiliaceus 'Rubra'
LB	Laurus 'Baby Bay'
LS	Lomandra 'Seascape'
LT	Lomandra longifolia 'Tanika'
LR	Licuala ramsayi
MS	Magnolia 'Sweet Spire'
NO	Nandina 'Obsession'
PA	Plumeria acutifolia
PL PR	Philadendron 'Litte Phil' Philadendron 'Rojo Congo'
PN	Pennesetum 'Nafray'
PS	Pyrus 'Southworth Dancer'
PX	Philodendron 'Xanadu'
RC	Rosmarinus 'Chefs Choice'
RE	Rhapis excelsa
SC	Syzygium 'Cascade'
TP	Tradescantia 'Purple Knight'
TT	Trachelospermum 'Tricolor'
WL	Westringia 'Low Horizon'
VH	Viola hederacea
ZG	Zelkova 'Green Vase'
ZZ	Zamioculus 'Zanzibar Gem'

PLANT CODES











variety of surfaces







tness facilities

private terraces

1. All mass planted beds will require a fully automated irrigation system which is to

relevant Australian Standards and the current water restrictions that are in place at

The design of the irrigation system shall only be carried out after water pressure testing has been undertaken.

5. The site superintendent and all other relevant personnel shall be fully conversant with the operational requirements of the system prior to planting taking place.

be designed and installed by an appropriately qualified irrigation consultant,

2. The irrigation system shall be designed and installed in accordance with all

4. The irrigation system shall be installed and in full working order prior to any

Landscape Contractor or tradesperson prior to planting.

IRRIGATION NOTE

the time of construction.

planting works taking place.



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NOTES

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 Contractors shall verify the location of all site features prior to commencing works. 6. Soil testing has not been undertaken as part of the preparation of this design;
- Contractors shall determine the need for soil testing prior to any planting works. 7. A search of underground services has not been undertaken as part of the
- preparation of this design; it is recommended that Contractors contact DIAL BEFORE YOU DIG ON 1100 prior to commencing any works. 8. This plan is to be read in conjunction with the architectural and engineering plans
- It is recommended that an approved root barrier be installed to manufacturers recommendations to all tree planting in the vicinity of structures, walls and hard pavement areas.

NOT FOR CONSTRUCTION

	TITLE: LANDSCAPE PLAN						
ELI	status: DA	SCALES: 1:15	0				
	CHECKED: MFG	SHEET 3 OF 5	REVISION:				
	DRAWN: MAG	DRAWING No.	C				
	DATE: 14.09.2023	23-4939 LO3	C				













A1

PLANT CODES (refer also to plant schedule)



IRRIGATION NOTE

the time of construction.

testing has been undertaken

planting works taking place.

1. All mass planted beds will require a fully automated irrigation system which is to

relevant Australian Standards and the current water restrictions that are in place at

3. The design of the irrigation system shall only be carried out after water pressure

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11110



hative coastal planting stv



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NOT FOR CONSTRUCTION

	TITLE: LANDSCA	PE PLAN	
<u>=</u> E	status: DA	SCALES: 1:15	0
	CHECKED: MFG	SHEET 4 OF 5	REVISION:
	DRAWN: MAG	DRAWING No.	C
	DATE: 14.09.2023	23-4939 LO4	

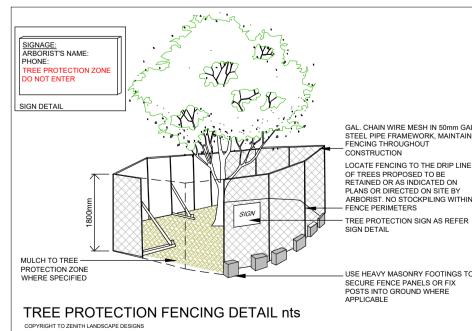
	PLANT SCHEDU	JLE - GROUND FLOOR	* native	species/cult	ivars		
~~~~	SYMBOL D	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
	WF	★ Waterhousia floribunda	4	200ltr	10m+	yes	Weeping Lilly Pilly
•	HF	* Howea forsteriana	3	100ltr	7m+	yes	Kentia Palm
		Alcantarea imperialis 'Rubra'	8	5ltr	1.5m	no	Imperial Bromeliad
	PR	Philodendron 'Rojo Congo'	15	5ltr	1m	no	Rojo Congo Philodendron
	Swewers PX	Philodendron 'Xanadu'	26	5ltr	0.7m	no	Dwarf Philodendron
	PL	Philodendron 'Litte Phil'	66	150mm	0.3m	no	Little Phil Philodendron

SAMPLE GREEN WALL SPECIES PALETTE	COMMON NAME
Altertnanthera 'Little Ruby'	Little Ruby
Carpobrotus glaucescens	Pigface
Crassula sp. various	Jade Plant
Echeveria sp. various	Hen & Chicks
Festuca glauca	Blue Festuca
Liriope sp. various	Turf Lily
Lomandra sp, various	Mat Rush
Nandina sp. various	Nandina
Ophiopogon sp various	Mondo Grass
Sedum sp. various	Stonecrop
Senecio serpens	Blue Chalk Sticks

	PLANT SCHEDULE - LEVEL 1 * native species/cultivars									
	SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME			
	LR	* Licuala ramsayi	5	200ltr	10m+	yes	Australian Fan Palm			
	ZG	Zelkova 'Green Vase'	1	200ltr	10m+	yes	Japanese Elm			
AN AND	BC	* Backhousia citriodora	7	25ltr	8m+	no	Lemon Scented Myrtle			
	AR	* Archontophoenix sp. mulit-trunked	3	200ltr	7m+	yes	Bangalow Palm			
	HF	★ Howea forsteriana	9	100ltr	7m+	yes	Kentia Palm			
	PS	Pyrus 'Southworth Dancer'	6	200ltr	7m+	yes	Ornamental Pear			
ĺ	A EE A	<b>★</b> Elaeocarpus eumundii	15	75ltr	6m+	no	Quandong			
	AS	* Acmena 'Sublime'	7	45ltr	5m+	no	Sublime Lilly Pilly			
	MS	Magnolia 'Sweet Spire'	14	25ltr	3m	no	Dwarf Magnolia			
	RE	* Rhapis excelsa	16	25ltr	2.5m	no	Slender Lady Palm			
	SC SC	★ Syzygium 'Cascade'	17	25ltr	2.5m	no	Weeping Lilly Pilly			
	BS	* Blechnum 'Silver Lady'	29	5ltr	1.2m	no	Silver Lady Fern			
	CR	Cycas revoluta	63	10ltr	1.2m	no	Sago Palm			
	AA	* Asplenium australisicum	12	5ltr	1m	no	Birds Nest Fern			
	вм	Buxus microphylla 'Japonica'	77	5ltr	0.8m	no	Japanese Box			
	SUSTINE PX	Philodendron 'Xanadu'	165	5ltr	0.7m	no	Dwarf Philodendron			
	DE	* Dianella 'Emerald Arch'	74	150mm	0.5m	no	Flax Lily			
		* Dichondra repens	84	150mm	g/cover	no	Native Kidney Plant			
	DS	Dichondra 'Silver Falls'	189	150mm	g/cover	no	Silver Dichondra			
	CIIIIII TP	Tradescantia 'Purple Knight'	102	150mm	g/cover	no	Purple Knight			
		Trachelospermum 'Tricolor'	84	150mm	g/cover	no	Variegated Jasmine			
	VH	★ Viola hederacea	298	150mm	g/cover	no	Native Violet			
	- A CAN	* Cissus antarctica	7	5ltr	climber	no	Kangaroo Vine			
	<u> </u>	Artificial Turf								

PLANT SCHEDULE - LEVEL 4 * native species/cultivars								
SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME		
AR	* Archontophoenix sp. mulit-trunked	3	25ltr	7m+	yes	Bangalow Palm		
CA	<b>*</b> Cupaniopsis anacardioides	3	25ltr	6m+	yes	Tuckeroo		
НТ	Hibiscua tiliaceus 'Rubra'	6	45ltr	5m	no	Red Cottonwood		
LB LB		1	5ltr	2m	no	Dwarf Bay Tree		
AM	* Acmena 'Minipilly'	39	5ltr	1.5m	no	Dwarf Lilly Pilly		
CBF	* Callistemon 'Great Balls of Fire'	25	5ltr	1.5m	no	Dwarf Callistemon		
	Dracena 'Janet Craig compacta'	15	5ltr	1.5m	no	Happy Plant		
CAL	* Correa alba	37	150mm	1m	no	Coastal Correa		
RC	Rosmarinus 'Chefs Choice'	2	5ltr	1m	no	Rosemary		
HOUSE HO	* Hymenosporum 'Gold Nugget'	49	5ltr	0.7m	no	Dwarf Native Fran		
NC	Nandina 'Obsession'	13	150mm	0.7m	no	Obsession Nandin		
	★ Pennesetum 'Nafray'	27	150mm	0.7m	no	Native Foxtails		
DE	* Dianella 'Emerald Arch'	54	150mm	0.5m	no	Flax Lily		
*****	★ Lomandra longifolia 'Tanika'	32	150mm	0.5m	no	Dwarf Mat Rush		
**** 22	Zamioculus 'Zanzibar Gem'	7	150mm	0.4m	no	Zanzibar Gem		
CAF	* Chrysocephalum apiculatum	45	150mm	g/cover	no	Yellow Buttons		
CCC	* Casuarina 'Cousin It'	45	150mm	g/cover	no	Prostrate She Oak		
CGL	* Carpobrotus glaucescens	75	150mm	g/cover	no	Native Pigface		
VH	* Viola hederacea	32	150mm	g/cover	no	Native Violet		
	Artificial Turf	I	I		1	1		

PLANT SCHED	ULE - LEVEL 16 * native	species/cul	tivars			
SYMBOL	SPECIES	No.	Pot Size	Mat. Hgt.	Stake	COMMON NAME
BI	* Banksia integrifolia	1	25ltr	8m+	yes	Coast Banksia
PA	Plumeria acutifolia	1	25ltr	4m+	no	Frangipani
CG CG CC	* Casuarina 'Green Wave'	5	5ltr	2m	no	Green Wave She
CAL	* Correa alba	12	150mm	1m	no	Coastal Correa
CE	Crassula 'Bluebird'	7	150mm	0.9m	no	Bluebird Jade
LS LS	* Lomandra 'Seascape'	10	150mm	0.6m	no	Weeping Mat Rus
*****	★ Lomandra longifolia 'Tanika'	22	150mm	0.5m	no	Dwarf Mat Rush
Charles Charle	* Westringia 'Low Horizon'	10	150mm	0.3m	no	Dwarf Westringia
CAF	* Chrysocephalum apiculatum	10	150mm	g/cover	no	Yellow Buttons
CC	* Casuarina 'Cousin It'	6	150mm	g/cover	no	Prostrate She Oak
CGL	* Carpobrotus glaucescens	46	150mm	g/cover	no	Native Pigface



	Rev. no.	Description:	Date:	Rev. no.	Description:	Date:	ARBORIST:	
Landscape Design	A	REVISED ARCHITECTURAL DESIGN	20.09.2023				SURVEY:	CEH
Institute	В	REVISED ARCHITECTURAL DESIGN	27.02.2024				HYDRAULIC:	ATE
Registered Member	С	REVISED STORMWATER DESIGN	11.06.2024				ARCHITECT:	DW

# ON NAME v Palm onwood Tree Pilly allistemon

Correa

tive Frangipani 

Nandina xtails

Gem

She Oak



Correa Jade Mat Rush

stringia ttons She Oak face

.. CHAIN WIRE MESH IN 50mm GAL EL PIPE FRAMEWORK, MAINTAIN ICING THROUGHOUT REE PROTECTION SIGN AS REFER

JSE HEAVY MASONRY FOOTINGS TO



1. GENERAL 1.1 The Contractor shall familiarise themselves with the site prior to tender. 1.2 The Contractor will be held responsible for any damage to utility services, pipes, building structures, paving surfaces, fencing, footways, kerbs, roads and existing plant material. 1.3 The site is to be left in a clean and tidy condition at the completion of works to the satisfaction of the Superintendent. 1.4 No work involving an extra shall be undertaken unless approval is first obtained from the Superintendent.

1.5 No substitute of material shall be made unless approval is given by the Superintendent. 1.6 The Contractor shall continuously maintain all areas of the Contract during progress of the works specified.

2. SITE PREPARATION 2.1 Prepared sub-grade is to be free of stones larger than 100mm diameter, cement, rubbish and any other foreign matter that could hinder plant growth.

3. MASS PLANTED AREAS 3.1 Once clear of weed growth, grass and debris, sub-grade should be cultivated to a minimum depth of 150mm incorporating 'Dynamic Lifter' or equivalent at the manufacturers recommended rates.

3.2 Weeds shall be controlled by a combination of chemical and hand removal techniques. 4. PLANTING 4.1 All plant material is to be hardened off, disease and insect free and true to species, type and variety. Plants are to be well grown but not root bound and shall comply with Natspec - "Guide to Purchasing Landscape Trees", AS 2303 - 2018, Tree Stock for Landscape use and NATSPEC Specifying Trees: a guide to assessment of tree quality (2003) 4.2 All plants are to be removed from their containers prior to planting with as little disturbance to the root system as possible.

4.3 Planting shall not be carried out in dry soil or extreme weather conditions. 4.4 Plants should be planted at the same depth as the plants were in the containers and allow for a shallow saucer of soil to be formed around the plant to aid the penetration of water. 4.5 All plant material should be watered thoroughly immediately after planting.

4.6 The Contractor shall be responsible for the failure of plants during construction, except for acts of vandalism. 4.7 Labels shall be removed entirely from the plants. 5. STAKING

5.1 Ties should be firmly attached to the stakes, in a way to avoid damage to the stem while allowing a small degree of movement. 6. TURF AREAS 6.1 Turf areas should be cultivated before turfing by ripping or harrowing.

6.2 At the completion of turfing the whole area shall be thoroughly soaked and kept moist till the completion of landscape works. 7. MULCH 7.1 All imported Composts, Soil conditioners and Mulches to meet AS 4454.

7.2 Mulch for all general mass planted beds shall be 'Droughtmaster' mulch as supplied by A.N.L. or similar. 7.3 Mulch for OSD basin garden beds shall be 20mm Nepean River Gravel or similar laid to a minimum 50mm depth.

8. SOIL MIXES 8.1 All imported soil to meet AS4419 Soils for Landscaping and Garden Use

8.2 Soil mix for mass planted areas shall be 3 parts site soil to 1 part 'Organic Garden Mix' as supplied by A.N.L. or equivalent. 8.3 Soil mix for street tree planting shall be 1 part site soil to 1 part 'Organic Garden Mix' as supplied by A.N.L. or equivalent 8.4 Soil mix for planter boxes and planting over slab shall be 'Planter Box Mix' as supplied by A.N.L. or equivalent.

9. FEATURE PEBBLES 9.1 Feature pebbles shall be 20mm Nepean River Gravel or similar laid to a minimum 50mm depth.

10. DECOMPOSED GRANITE 10.1 Decomposed Granite shall be max.5mm Decomposed Granite Gold as supplied by A.N.L. or similar spread to a depth of 100mm allowing 25% compaction and stabilised with 5% off-white cement

MAINTENANCE

1. These works shall be in addition to the construction contract. 2. The Contractor shall commence and fully implement the short term maintenance after Practical Completion has been confirmed by the Superintendent.

3. The Contractor shall carry out maintenance works for a minimum period of 26 weeks 4. Maintenance works shall include the following works

a. Mow lawns and trim edges each 10 days in summer and each 14 days in winter. b. Water all planting and lawn areas in order to ensure adequate soil moisture at all times.

c. Remove any weed growth from all planting areas. d. Spray and control pests and diseases as required.

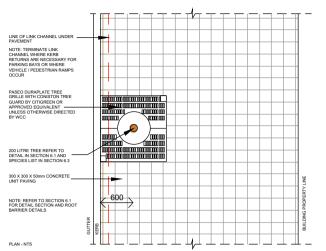
e. Replace plants which fail with plants of similar size and quality as originally planted. f. Adjust ties to trees as necessary.

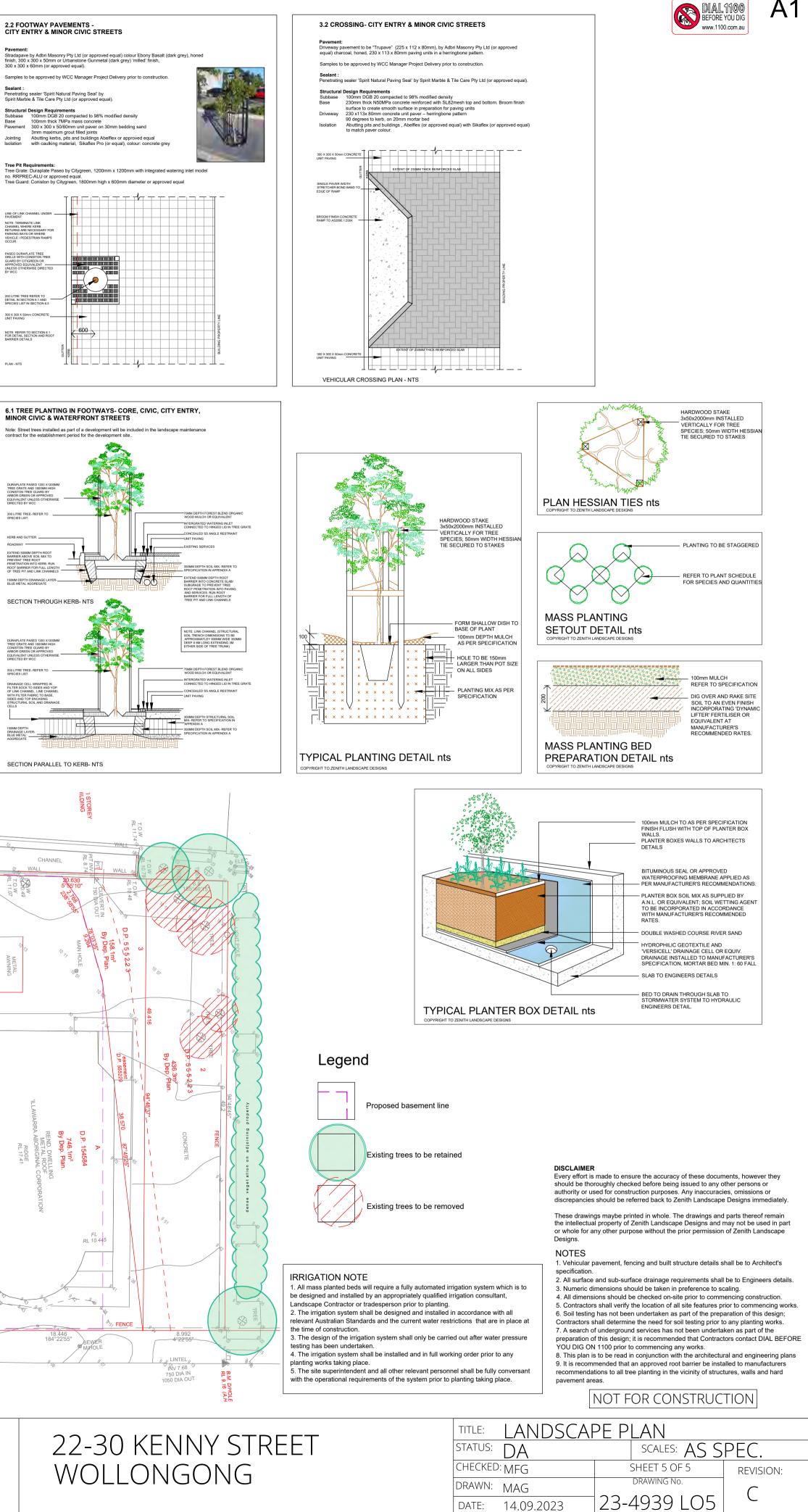
g. Make good any erosion or soil subsidence which may occur h. Maintain all mulched areas in a clean and tidy condition to the depth as originally specified.

- i. Make good any defects or faults arising from defective workmanship.
- Note: The Contractor is not to be held responsible for the theft or vandalism of any plants during the maintenance period 5. Advanced trees shall be individually inspected at least once a month in order to determine their health and vigour. Should the trees
- exhibit any signs of disease, pest infestation or poor growth then a qualified arborist shall be consulted within 14 days in order to determine the most appropriate course of action. Recommended treatment shall then be commenced within 7 days and shall continue until the problem is eliminated.
- 6. When the maintenance period is completed the Contractor shall notify the Superintendent. The site shall then be inspected and if to the satisfaction of the Superintendent the responsibility will be handed over to the Client for on-going maintenance.

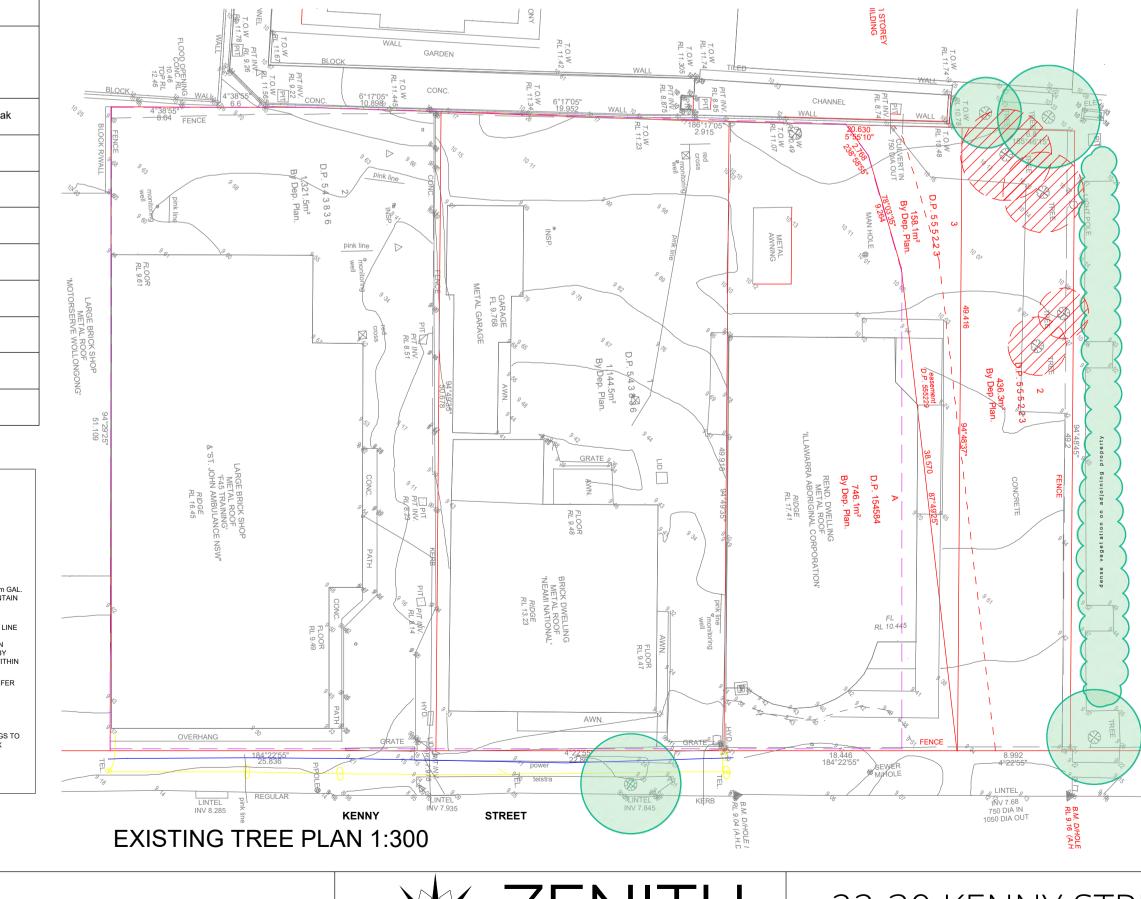












### EH CONSULTING **FB CONSULTING ENGINEERS** WA

ANDSCAPE DESIGNS Ph: 9545 5200 info@zenithlandscapes.com.au

		5 4
A	GENERAL G1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CURRENT SAA CODES AND THE BYLAWS, ORDINANCE OR OTHER REQUIREMENTS OF THE RELEVANT BUILDING AUTHORITIES.	STORMWATER DRAINAGE GENERAL: 1. DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT AND ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK. 2.
~	G2. DO NOT OBTAIN DIMENSIONS BY SCALING THESE DRAWINGS. ONLY PRINCIPAL STRUCTURAL DIMENSIONS ARE SHOWN. ALL DIMENSIONS ARE IN MILLIMETERS.	2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM DRAWINGS. REFER TO ARCHITECT'S FINAL DRAWINGS.
	G3 DRAWINGS TO BE READ IN CONJUNCTION WITH THE ALL OTHER CONTRACT	3. THE BUILDER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING AND NEW SERVICES, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAME.
	DOCUMENTS AND THE REQUIREMENTS OF THE RELEVANT BUILDING AUTHORITIES. G4. BEFORE PROCEEDING WITH WORK CLARIFY ANY DISCREPANCIES, VERIFY ALL SETTING OUT DIMENSIONS. CONSTRUCTION FROM THESE DRAWINGS AND	4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES, AND THE BY-LAWS AND ORDINANCES OF THE FOLLOWING:- WOLLONGONG CITY COUNCIL EPA and WORK COVER AS 3500 PARTS 2 & 3
	ASSOCIATED CONSULTANT'S DRAWINGS	5. PREPARE PROGRESSIVELY AND FURNISH TO THE ENGINEER WORK AS EXECUTED DRAWINGS OF THE SAME SIZE AND QUALITY AS THIS DRAWING BUT ACCORDANCE WITH DA CONDITIONS & CC REQUIREMENTS
В	G5. WORKS SHALL NOT COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES. G6.DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE	<ol> <li>SUFFICIENT NOTICE SHALL BE GIVEN TO ALLOW INSPECTIONS TO BE CARRIED OUT AT THE FOLLOWING STAGES:</li> </ol>
	CONDITION. DO NOT EXCEED THE DESIGN LIVE LOADS SHOWN OR CAUSE ANY ELEMENT TO BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE	WORK READY FOR SPECIFIED TESTING 3.
	BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES. G7. THE BUILDER SHALL GIVE 48 HOURS NOTICE FOR ALL ENGINEERING INSPECTIONS.	7.       OBTAIN APPROVAL BEFORE INTERRUPTING AN EXISTING SERVICE. KEEP       4.         THE NUMBER OF INTERRUPTIONS TO A MINIMUM       5.
	G8. ALL SITE RE–GRADING AREAS SHALL BE FINALLY GRADED TO THE SATISFACTION OF THE ENGINEER.	<ul> <li>8. LAY PIPES TO THE LEVELS SHOWN ON THE DRAWINGS AND IN ANY CASE</li> <li>NOT LESS THAN THE FOLLOWING:</li> <li>100∅ @ 1.0%, 150∅ @ 1.0%, 225∅ @ 0.5%, 300∅ @ 0.5%</li> </ul>
	G9 SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED	9.       ENDS OF PIPES AND STUB CONNECTIONS TO BE SEALED WITH AN       7.         9.       ENDS OF PIPES AND STUB CONNECTIONS TO BE SEALED WITH AN       8.
C	FROM SITE. G10. ALL DRAINAGE LINES THROUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN	10. MILD STEEL STAR PICKET 1200mm LONG WITH 300mm PAINTED GREEN 9. EXTENDED ABOVE GROUND LEVEL TO BE PLACED AT EACH
	EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.	INTERLOTMNET DRAINAGE CONNECTION POINT. 10 11. GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION.
	G11. THE METHOD OF CONSTRUCTION AND THE MAINTENANCE OF SAFETY DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE BUILDER. IF ANY STRUCTURAL ELEMENT PRESENTS DIFFICULTY IN RESPECT OF CONSTRUCTIBILITY OR SAFETY, THE MATTER SHALL BE REFERRED TO THE STRUCTURAL ENGINEER FOR RESOLUTION	PAVEMENT GENERAL 1. ALL WORK TO BE IN ACCORDANCE WITH THE DEVELOPMENT CONSTRUCTION SPECIFICATION OF THE WOLLONGONG CITY COUNCIL.
	BEFORE PROCEEDING WITH THE WORK.	2. MAKE SMOOTH CONNECTION TO ALL EXISTING ENGINEERING WORK. 12
	G12. IF THERE IS A DISCREPANCY IN MEMBER SIZES FOR ANY COMPONENT, ASSUME FOR PRICING PURPOSES ONLY THAT THE LARGER OR MORE EXPENSIVE SIZE IS	3. ALL EXISTING SERVICES TO BE LOCATED AND LEVELED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
	CORRECT. REFER TO STRUCTURAL/CIVIL ENGINEER FOR DECISION BEFORE DETAILING OR CONSTRUCTION	4. ALL SERVICES AFFECTED BY NEW WORK, TO BE ADJUSTED TO SUIT IN THE FIELD, TO THE SATISFACTION OF THE RELEVANT SERVICE AUTHORITY. 14
D	SITE PREPARATION SP1. STRIP OFF ALL VEGETATION, RUBBISH AND TOPSOIL CONTAINING ORGANIC OR ROOT MATTER FROM THE AREA OF THE CONSTRUCTION.	5.WHILE WORKING ON COUNCIL ROADS OR ROAD RESERVES, CONTRACTOR TO PROVIDE A TRAFFIC CONTROL PLAN WHICH COMPLIES WITH A.S. 1742.3-1996. A COPY OF THE PLAN SHOWING LAYOUT OF PROPOSED TRAFFIC CONTROL FOR THE COMMENCEMENT OF WORK AND CERTIFIED BY A SUITABLY QUALIFIED PERSON, IS TO BE SUBMITTED TO COUNCIL PRIOR TO THE COMMENCEMENT OF ANY WORK. FURTHER PLANS ARE TO BE SUBMITTED1717IF WORK SITE ALTERS.18
	SP2 PROVIDE SUITABLE SURFACE AND/OR SUBSOIL DRAINAGE IN CONJUNCTION WITH, OR SUBSEQUENT TO BULK EARTHWORKS AS REQUIRED ON SITE, TO MINIMIZE INGRESS OF MOISTURE ADJACENT TO, OR BENEATH THE BUILDING.	6. ANY ROAD RESTORATION REQUIRED SHALL BE IN 300mm LAYERS OF DGS 40 FROM THE BOTTOM OF TRENCH OR TOP OF SAND OVERLAY OVER ANY PIPES, 19 COMPACTED TO A MINIMUM OF 100% STANDARD COMPACTION, WITH THE FINAL LAYER OF 100mm DGB 20 COMPACTED TO A MINIMUM OF 100% STANDARD COMPACTION AND FINISHED LEVEL WITH EXISTING ROAD 20 SURFACE.
	SP3 FILL SHALL CONSIST OF MATERIAL COMPACTED TO 98% MAX. STD DRY DENSITY UNLESS NOTED OTHERWISE IN LAYERS BY REPEATED ROLLING WITH PROPRIETARY	<ul> <li>ALL DISTURBED SURFACES ARE TO BE REINSTATED TO AS NEARLY AS POSSIBLE</li> <li>TO THE PRE CONSTRUCTION CONDITION.</li> </ul>
E	COMPACTION PLANT. ALL FILLING IS TO BE LAID IN 150mm MAXIMUM LAYERS. SP4. DRAWINGS TO BE READ IN CONJUNCTION WITH THE SOIL GEOTECHNICAL REPORT BY THE GEOTECHNICAL ENGINEER IS TO APPROVE THE MATERIAL USED FOR FILLING AND IS TO SUPERVISE PLACING OF COMPACTED FILL. FILLING IS TO BE FREE OF RUBBISH, PLASTIC CLAY OR LARGE PIECES OF ROCK/BOULDER WHICH WOULD INHIBIT	<ul> <li>STORMWATER DRAINAGE CERTIFICATION:</li> <li>PROVIDE CERTIFICATION THAT THE WHOLE INSTALLATION MEETS THE STANDARDS REFERRED TO IN THESE SPECIFICATIONS AND THE REQUIREMENTS OF AUTHORITIES AS WELL AS THE SUPPLY UTILITY.</li> </ul>
	COMPACTION.	2.UPON COMPLETION OF DRAINAGE WORKS THE CONTRACTOR IS TO SUPPLY THE ENGINEER WITH WORK AS EXECUTED DRAWINGS CERTIFIED BY A REGISTERED SURVEYOR.2526
	SP5. FOR ON-GROUND CONCRETE SLABS – BLIND WITH SAND UNDER VAPOUR-PROOF MEMBRANE BARRIER. VAPOUR BARRIER SHALL BE POLYETHYLENE SHEETING OF MIN. 0.2mm THICKNESS . LAPPING SHALL BE NOT LESS THAN 200mm AT JOINTS . PENETRATIONS BY PIPES SHALL BE TAPED.	SURVEY DRAWINGS 27 SD1. BOUNDARIES IF SHOWN MAY NOT YET HAVE BEEN DEFINED OR
F	SP6. BACKFILLING AND COMPACTION OF FILL SHALL BE CARRIED OUT SIMULTANEOUSLY ON EACH SIDE OF WALLS.	MARKED. ALL BEARING AND DISTANCES ARE SUBJECT TO FINAL SURVEY.       28         ONLY VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY DEMOLITION,       28         EXCAVATION OR CONSTRUCTION, RELEVANT AUTHORITIES SHOULD BE       29         CONTACTED FOR DETAILED LOCATION OF ALL SERVICES AND POSSIBLE       29
	SP7. ALL FINISHED SURFACE LEVELS OF EARTHWORKS ARE TO GRADE AWAY FROM THE BUILDING & DIVERT RUNOFF INTO THE STORMWATER DRAINAGE SYSTEM IN ACCORDANCE WITH THE RELEVANT CONTRACT DRAWINGS.	LOCATION OF FURTHER UNDERGROUND SERVICES. ALL WORK IS TO BE SET OUT BY A COMPETENT SURVEYOR APPROVED BY COUNCIL. 31
	SP8. ALL PAD FOOTING EXCAVATIONS ARE TO BE BACKFILLED UP TO FINISHED SURFACE LEVEL.	SERVICES CONFLICT: IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK FOR ANY CONFLICT OF SERVICES IN THE FOOTPATH & VERIFY LEVELS OF THE EXISTING STORM WATER CONNECTION BEFORE ANY COMMENCEMENT OF WORK
	ENVIRONMENT THE BUILDERS ATTENTION IS CALLED TO OBSERVE ANY COUNCIL,	ATB CONSULTING ENGINEERS TAKES NO RESPONSIBILITY OR       33
G	E1 EPA, OTHER AUTHORITY'S OR CONTRACT CONDITIONS IN COMPLYING WITH MANAGEMENT OF EXCAVATION, SOIL MOVEMENT, SEDIMENT CONTROL AND DUST SUPPRESSION.	LIABILITY FOR ANY DAMAGES OR LOSSES INCURRED TO ANY PERSONS OR PROPERTY (INCLUDING THE DEVELOPMENT SITE) AS A RESULT OF MISINTERPRETATION OF THE RESULTS AND UNFORESEEN CIRCUMSTANCES SUCH AS POOR CONSTRUCTION, LACK OF MAINTENANCE AFTER CONSTRUCTION, ALTERATIONS TO GROUND LEVELS UPSTREAM, DOWNSTREAM OR ADJACENT TO THE
	DIAL BEFORE YOU DIG www.1100.com.au	DEVELOPMENT.
IS	SUE AMENDMENT	DATE PLANS 0 1000 2000 3000 4000 5000
	A ISSUE FOR COORDINATION B ISSUE FOR DA APPLICATION	18/09/23 20/09/23
	C ISSUE FOR ADDITIONAL INFORMATION D ISSUE FOR ADDITIONAL INFORMATION	27/02/24 11/06/24 DO NOT SCALE IF IN DOUBT ASK THIS DRAWING SHALL BE READ IN CONJUNCTION WITH SPECIF

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### FORMWATER DRAINAGE NOTES:

STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATION.

6

MINIMUM PIT DIMENSIONS ARE TO BE IN ACCORDANCE WITH AS3500.3 TABLE 7.5.2.1 WHICH PROVIDES GUIDANCE ACCORDING TO PIT DEPTH U.N.O. TABLE 7.5.2.1

### MINIMUM INTERNAL DIMENSIONS FOR STODMWATED AND INLET DITS.

ST	ORM	WATEF	R AND	INLET	PITS
		M	inimum	internal	dimensions
-				mm	

Depth to invert	mm						
of outlet	Recta	ngular	Circular				
	Width	Length	Diameter				
≤450	350	350	—				
≤600 >600 ≤900 >900 ≤1200	450 600 600	450 600 900	600 900 1000				
>1200	900	900	1000				

PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC

PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO.

ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O. BY COUNCILS SPECIFICATION.

PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS. MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 600mm IN CARPARK & ROADWAY AREAS UNO.

### ALL PIPES LOCATED IN LANDSCAPE AREAS TO HAVE 300mm COVER. WHERE NOT POSSIBLE AND COVER IS BETWEEN 150mm AND 300mm USE SEWER GRADE PIPE.

PIPES 225mm DIA AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O. PIPES UP TO 150mm DIA SHALL BE LAID AT 1.0% MIN. GRADE U.N.O

BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY.CONTRACTOR IS TO VERIFY THE LEVEL AND LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF EXCAVATION

THE CONTRACTOR IS TO VERIFY ANY CONFLICT OF SERVICES IN THE ROAD RESERVE OR SUBJECT PROPERTY AND THE ENGINEER IS TO BE NOTIFIED AT THE EARLIEST POSSIBLE CONVENIENCE.

- THE CONTRACTOR IS TO VERIFY INVERT LEVELS AT POINT OF CONNECTION TO EXISTING STORMWATER SYSTEM AND REPORT ANY CONFLICT OF LEVELS.
- ALL BUILDINGS HAVE BEEN RAISED SO THERE IS AT LEAST 150mm STEP UP INTO THE BUILDING TO ALLOW SUFFICIENT FREEBOARD FOR OVERLAND FLOWS IN THE CASE OF PIPE BLOCKAGE.

ALL PIPES TO BE FULLY HOUSED INTO PIT WALLS AND JOINED/SEAL IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

GRADE ALL PAVED AND GRASSED AREAS AWAY FROM BUILDING.

TOP OF GRATE TO BE POSITIONED TO CATCH ALL UPSTREAM SURFACE FLOWS AS INDICATED BY PLANS.

ANY PIPES OVER 16% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS ALL PITS WITHIN PROPERTY AREA TO BE FITTED WITH WELDLOK OR APPROVED EQUIVALENT GRATES TO AS 3996.

ALL LANDSCAPED PITS TO BE MIN 450 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.

ALL COURTYARDS TO HAVE 450 SQUARE PIT INSTALLED WITH A 100mm DIA. CONNECTION TO FORMAL DRAINAGE SYSTEM.

ALL DRIVEWAY PITS TO BE MIN 600 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1

ANY PIPES BENEATH RELEVANT LOCAL AUTHORITY ROAD TO BE RUBBER RING JOINTED RCP, uno.

ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.

PROVIDE STEP IRONS TO STORMWATER PITS GREATER THAN 1200 IN DEPTH. COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS TO BE MIN. 25MPa

PROVIDE CONCRETE BENCHING ACROSS PIT TO SUIT INLET & OUTLET PIPES AS DETAILED. 1000 SUBSOIL DRAINAGE PIPE 3.0M LONG WRAPPED IN FABRIC SOCK TO BE

PLACED ADJACENT TO INLET PIPES ON BOTH SIDES AND 100mm MIN. ABOVE PIT FLOOR

SUB-SOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM, UNO.

SELECTED GRANULAR BACKFILL IS TO BE PLACED AGAINST THE FULL HEIGHT OF THE PIT VERTICAL FACES AND FOR A HORIZONTAL DISTANCE EQUAL TO ONE-THIRD THE HEIGHT OF THE STRUCTURE.

MORTAR BASES TO BE SHAPED TO GIVE MIN. 20mm FALL ACROSS PITS

MORTAR BASES TO BE DISHED TO SUIT ADJOINING PIPE SIZES TO GIVE SELF CLEANSING PITS.

WHERE PIT DEPTH EXCEEDS STANDARD DEPTH, CONCRETE SHALL BE USED AS PIT BASE, AND ALSO TO GAIN REQUIRED INLET/OUTLET LEVELS.

THE INLET PIPE OBVERT IS TO BE HIGHER THAN THE OUTLET PIPE OBVERT.

HAND EXCAVATE STORMWATER PIPES IN VICINITY OF TREE ROOTS FOOTPATH CROSSING LEVELS SHOWN ARE TO BE ADJUSTED TO FINAL COUNCIL'S

ISSUED LEVELS ALL FENCES MUST BE RAISED 150mm FROM FINISHED GROUND LEVELS SO THAT OVERLAND FLOWS FROM UPSTREAM PROPERTIES ARE NOT RESTRICTED OR BLOCKED.

### EARTHWORKS

7

ALL EARTHWORKS ARE TO BE PERFORMED TO LEVEL 1 CLASSIFICATION IN ACCORDANCE WITH AS 3798 – "GUIDELINES ON EARTHWORKS FOR COMMERCIAL, RESIDENTIAL DEVELOPMENTS".

8

- ALL WORKS TO BE CONDUCTED TO THE REQUIREMENTS OF THE WOLLONGONG CITY COUNCIL SUBDIVISION POLICY.
- 3. EXCAVATIONS GREATER THAT 1.5m IN DEPTH SHALL BE BENCHED AT 1.5m INTERVALS IN HEIGHT & PROTECTED BY SAFETY FENCE ABOVE.
- 4. NO SITE RE-GARDING WORKS ARE TO BE UNDERTAKEN UNTIL EROSION & SEDIMENT CONTROL DEVICES HAVE BEEN ERECTED OR CONSTRUCTED TO THE SATISFACTION OF THE SUPERINTENDENT.
- PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION
- 6. OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS ETC, AND STRIP TOP SOIL.AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- 7. STRIP AVERAGE 500mm EXISTING UNCONTROLLED FILL IN BUILDING AREAS. STRIP AVERAGE 1000mm UNCONTROLLED FILL UNDER ROADS & SLABS ON GRADE.
- 8. CUT & FILL OVER THE SITE TO LEVELS REQUIRED. BENCH AS NECESSARY.
- ALL DISTURBED AREAS INCLUDING BATTERS TABLE DRAINS AND FOOTPATH AREAS ARE TO BE TOP SOILED FERTILIZED AND SEEDED TO THE SATISFACTION OF COUNCIL'S SUBDIVISION AND DEVELOPMENT ENGINEER. 10.
- 11. STOCKPILE EXCAVATION MATERIAL FOR RE-USE. GEOTECHNICAL ENGINEER TO APPROVE.
- 12. PRIOR TO ANY FILLING IN AREAS OF CUT OR EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MIN. WEIGHT OF 5 TONES WITH A MIN. OF 10 PASSES
- 13. EXCAVATE & REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING & REPLACE WITH APPROVED FILL COMPACTED IN LAYERS. THE WHOLE OF THE EXPOSED SUB-GRADE & FILL SHALL BE COMPACTED TO 98% STANDARD MAX. DRY DENSITY AT OPTIMUM MOISTURE CONTENT  $\pm 2\%$ .
- 14. FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL & PRIOR TO COMMENCING OPERATIONS.
- 15. WHERE HARD ROCK IS EXPOSED IN SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- 16. FILL IN 200mm MAX. (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASE COURSE USING THE EXCAVATION MATERIAL & COMPACTED TO REQUIRED STANDARD (AS 1289 5.1.1). MAX. DRY DENSITY AT OPTIMUM MOISTURE CONTENT  $\pm 2\%$  SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS. IMPORT NECESSARY CLEAN GRANULAR FILL TO GEOTECHNICAL ENGINEER APPROVAL
- 17. USE EXCAVATION MATERIAL IN LOWER LEVELS & UNDER BUILDINGS. USE IMPORTED MATERIAL IN UPPER LEVELS & UNDER ROAD & CAR PARK AREAS.
- 18. FOR COMPACTION REQUIREMENTS REFER TO ATTACHED DRAWINGS.
- 19. ALL TESTING WORKS SHALL BE UNDERTAKEN & CERTIFIED BY A NATA REGISTERED LABORATORY. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE SUPERINTENDENT.
- 20. BATTERS TO BE AS SHOWN OR MAX 1 VERTICAL: 4 HORIZONTAL ALL CONDUITS & MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- 21. ALL BATTERS & FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM & SEEDED UNLESS OTHERWISE SPECIFIED.
- 22. REFER TO GEOTECHNICAL ENGINEERS REPORT TO ASSESS ALL CUTTING & FILLING ONSITE.

### PIPES COVER TABLE

LOCATION	PIPE TYPE	COVER
LANDSCAPE	PVC	300
UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDERSIDE OF PAVEMENT
CONCRETE	STEEL	NIL BELOW UNDERSIDE OF PAVEMENT
ROADS	RCP	500 BELOW UNDERSIDE OF PAVEMENT

### PIT GRATE INLINE TYPE

TRAFFIC CONDITIONS
FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS
FOOTWAYS THAT CAN BE MOUNTED BY VEHICLES
MALLS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.
CARRIGEWAYS OF ROADS AND AREAS OPEN TO COMMERCIAL VEHICHLES.

TABLE AS PER AS3996 – 2006. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED.

# BELOW GROUND OSD TANKS

9

- SHALL BE USED, PROVIDED: i) IT IS MACHINED TO 0.5mm ACCURACY
- ii) IT RETAINS A SHARP EDGE; AND
- CLAUSE 7.10.2.b.ii)
- BE FOUNDED ON A COMPACTED GRANULAR BASE.
- WITH AS3500.3 CLAUSE 7.5.5.4 SHALL BE INSTALLED.
- 5. BELOW GROUND OSD SYSTEMS SHALL CONFORM WITH AS2865.
- EACH ORIFICE OUTLET:
- ALTERNATIVE.
- d. SCREENS SHOULD BE PLACED NO FLATTER THAN 45 DEGREES TO THE TO THE HORIZONTAL.
- 9. THE STORAGE SHOULD BE DESIGNED TO FILL WITHOUT CAUSING OVERFLOWS IN UPSTREAM CONDUITS DUE TO BACKWATER EFFECTS (AS3500.3 CLAUSE 7.10.2.D.C). **ON-SITE DETENTION**
- INCLUDING AS3500.3, NCC AND COUNCILS' SPECIFICATIONS.
- PRIOR TO CERTIFICATION.
- GROUND PONDING, OR RAINWATER TANK OFFSET, OR DISCHARGED.
- 7.10.1)

### **RECOMMENDED SAFETY SIGNS**



### CONFINED SPACE DANGER SIGN

- CONFINED SPACE.
- MINIMUM DIMENSIONS OF THE SIGN 300mm x 450mm (LARGE ENTRIES, SUCH AS DOORS) 250mm x 180mm (SMALL ENTRIES SUCH AS GRATES & MANHOLES)
- ALUMINUM OR POLYPROPYLENE

SIGN.

11 VICTORIA STREET		Title	STORMWATER NOTES AND LEGENDS	SCALES	AS SHOW	N	DATE PL	.OTTED
		Project	PROPOSED MIXED USE DEVELOPMENT	DRAWN	M.V.		11/06	5/24
TELEPHONE: 02 42 266 646	ACEA			DESIGNED	G.U.		DATUM	A.H.D.
Email: info@atbconsulting.com.au		At	22–30 KENNY STREET	CHECKED	G.U.	DATE CHK'D		
ULTING ENGINEERS	The Association of Consulting Engineers	,	WOLLONGONG, NSW			11/06/24		
& STRUCTURAL	Australia	Client	ANYA SOLUTION PTY LTD			PROJECT N₀ 23051	^{DWG}	REVISION D

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10

THE HYDRAULIC CONTROL FOR THE STORAGE (USUALLY ORIFICE PLATE) SHALL BE FIRMLY FIXED IN PLACE TO PREVENT REMOVAL OR TAMPERING. A PLATE OF 3mm TO 5mm THICK STAINLESS STEEL WITH A CIRCULAR HOLE

iii) THE ORIFICE DIAMETER IS NOT LESS THAN 25mm (AS 3500.3 CLAUSE 7.10.2 1. INSPECTION / ACCESS OPENINGS SHALL BE PROVIDED ABOVE THE LOCATION OF THE OUTLET WITH DIMENSIONS AT LEAST 600mm x 600mm OR 600mm DIAMETER FOR STORAGES UP TO 800mm DEEP AND 900mm x 900mm FOR DEEPER STORAGES. THERE SHALL BE NO IMPEDIMENTS TO THE REMOVAL OF DEBRIS THROUGH THIS OPENING. INSPECTION SHALL BE POSSIBLE WITHOUT RESIDENTS OR OWNERS HAVING TO REMOVE HEAVY ACCESS COVERS (AS3500.3

WHERE STORAGES ARE NOT DEEP ENOUGH TO WORK IN (<1.5m DEEP), ACCESS SHALL BE PROVIDED AT INTERVALS OF APPROXIMATELY 10m TO ALLOW THE SYSTEM TO BE FLUSHED TO THE STORAGE OUTLET> ACCESS SHALL BE PROVIDED AT THE OUTLET (AS3500.3 CLAUSE 7.10.2.b.iii)

3. A SUMP SHALL BE PROVIDED AT THE OUTLET POINT, SET BELOW THE LEVEL OF THE MAIN STORAGE TO COLLECT DEBRIS. WHERE A DISCHARGE CONTROL PIT IS INCLUDED IN THE STORAGE < THIS SHALL CONTAIN A SUMP SET A MINIMUM OF 1.5 TIMES THE DIAMETER OF THE ORIFICE OF THE OUTLET BELOW THE CENTRE OF THE ORIFICE. SUMPS SHALL BE PROVIDED WITH WEEP HOLES TO DRAIN OUT TO THE SURROUNDING SOIL, AND SHALL

4. WHERE THE DEPTH OF THE TANK EXCEEDS 1.2m, A LADDER IN ACCORDANCE

6. IN ACCORDANCE WITH AS3500.3 CLAUSE 7.10.2.D SCREENS (TRASH RACKS) WITH THE FOLLOWING CHARACTERISTICS SHOULD BE PROVIDED TO COVER

a. FOR ORIFICES UP TO 150mm DIA., A FINE APERTURE-EXPANDED METAL MESH SCREEN WITH A MINIMUM AREA OF 50 TIMES THE AREA OF THE ORIFICE. FOR LARGER DIA. ORIFICES, A COARSER GRID MESH WITH A MINIMUM AREA OF 20 TIMES THE ORIFICE AREA MAY BE USED AS AN

b. STEEL SCREENS SHOULD BE STAINLESS STEEL OR HOT-DIP GALVANIZED c. WHERE APERTURE-EXPANDED MESH SCREENS ARE EMPLOYED, THEY SHOULD BE POSITIONED SO THAT THE OVAL-SHAPED HOLES ARE

HORIZONTAL, WITH THE PROTRUDING LIP ANGLED UPWARDS AND FACING DOWNSTREAM. A HANDLE MAY BE FITTED TO ENSURE CORRECT ORIENTATION AND EASY REMOVAL FOR MAINTENANCE.

HORIZONTAL IN SHALLOW STORAGES UP TO 600mm DEEP. IN DEEPER OR MORE REMOTE LOCATIONS, THE MINIMUM ANGLE SHOULD BE 60 DEGREES

8. IF THE BELOW GROUND OSD STORAGE IS SEALED, A VENT SHOULD BE PROVIDED TO EXPEL ANY NOXIOUS GASES (AS3500.3 CLAUSE 7.10.2.D.B).

1. ON-SITE DETENTION (OSD) TANKS ARE TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS

2. IT IS CRITICAL THAT THE MINIMUM OSD VOLUME AS CALCULATED BY THE DESIGN AND NOTED ON THESE PLANS IS ACHIEVED ON SITE. VOLUMES TO BE VERIFIED BE REGISTERED SURVEYOR AND NOTED IN THE WAE SURVEY

3. OSD VOLUME MAY BE ACHIEVED IN BELOW GROUND TANK, OR ABOVE INFILTRATION/ABSORPTION SYSTEM. EACH COUNCIL HAS SPECIFIC GUIDELINES FOR HOW STORMWATER FLOWS ARE TO BE CONTROLLED AND

4. PONDING AND OVERFLOW LEVELS FROM THE OSD SHALL BE NOT LESS THAN 300mm BELOW ADJACENT HABITABLE FLOOR LEVELS OF BUILDINGS AND NOT LESS THAN 150mm BELOW NON-HABITABLE FLOOR LEVELS (AS3500.1 CLAUSE

A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANKS

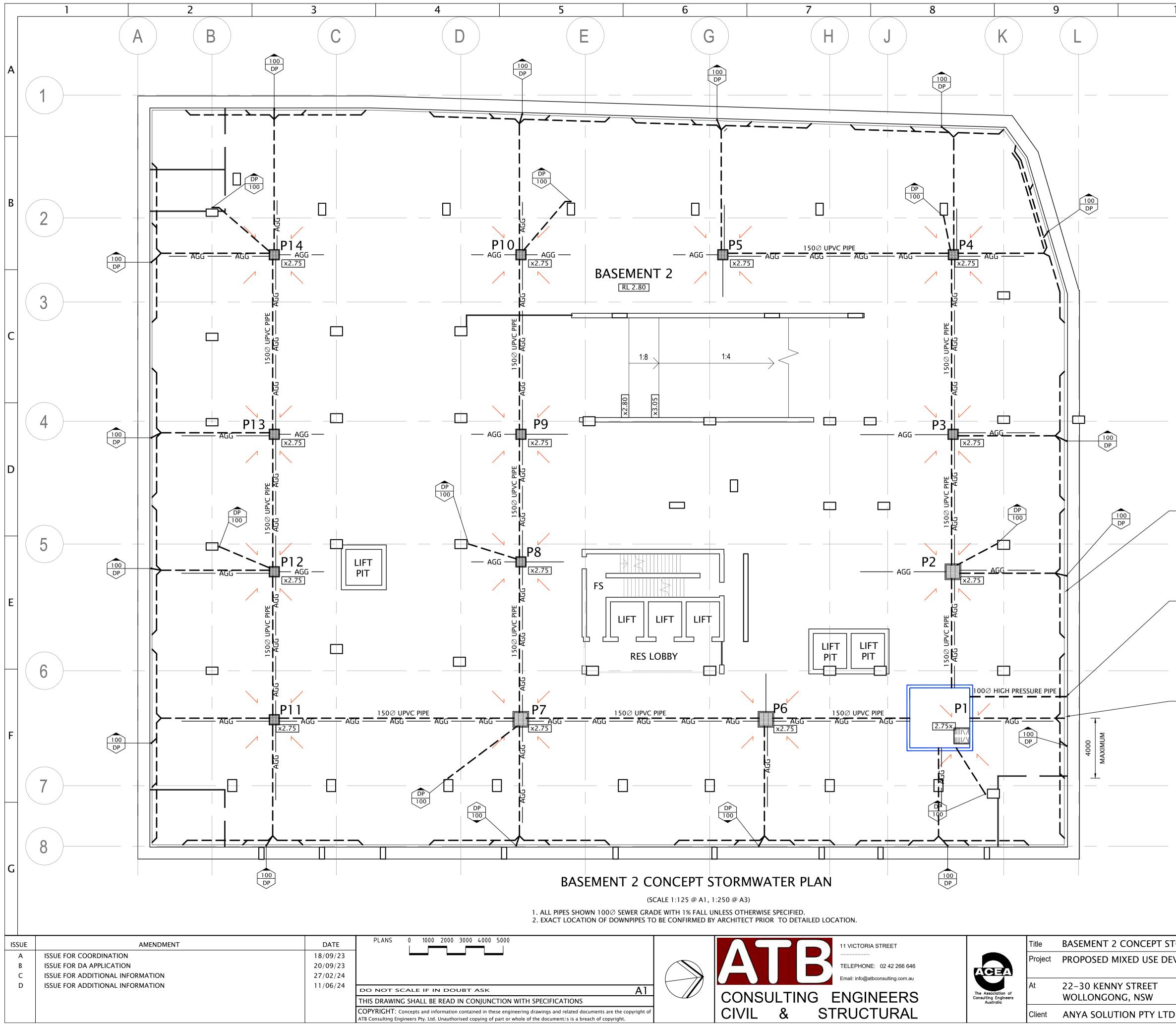
THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED

SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE

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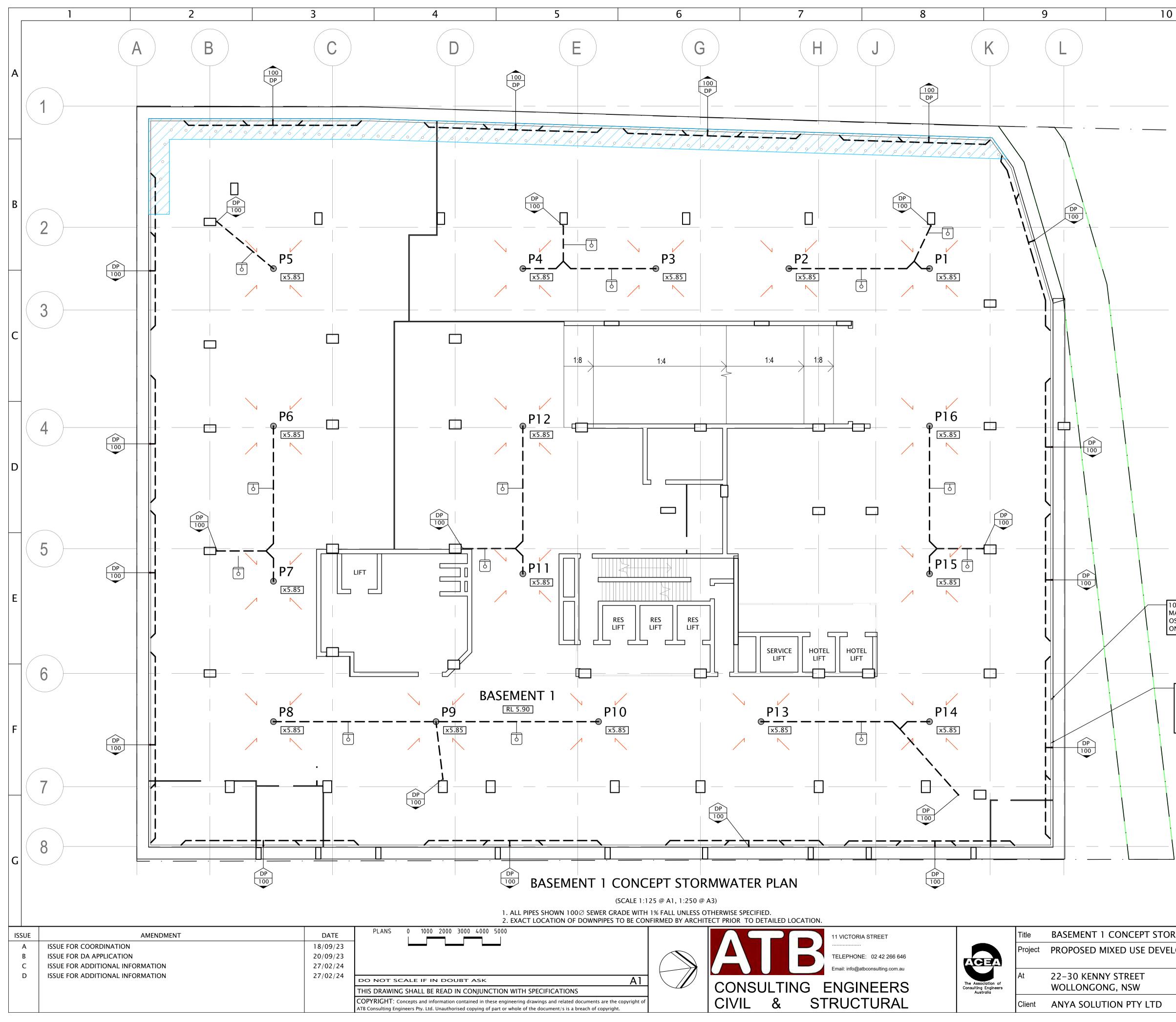
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00∅ uPVC @ 1.0	)% MIN.	PIPE SIZE, TYPE AND GRADE	
20.27		EXISTING LEVELS	Δ
x 22.80		PROPOSED LEVELS	
		STORMWATER PIT	
KIP 1 📺		KERB INLET PIT 1	
		1200 SQ. GRATED PUMP OUT	
		PIT WITH TWIN PUMPS	
• DP	<u> </u>	DOWN PIPE RAINWATER TANK	
	<u>y</u>	STORMWATER PIPE	
AGG	_	AGG. PIPE	B
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O/F			
		DIRECTION OF OVERLAND FLOW	
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		- DIRECTION OF FLOW	
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	AG ARI BG	AGG PIPE AVERAGE RECURRENCE INTERVAL BOX GUTTER	D
	BP BWT	BASEMENT PIT. BOTTOM WATER LEVEL	
	CL CO DP	COVER LEVEL CLEAN OUT INSPECTION OPENNING DOWNPIPE.	
	EDP EG	EXISTING DOWN PIPE EAVES GUTTER	
	EP FFL	EXISTING PIT. FINISHED FLOOR LEVEL	
	GI GP HDG	GALVANISED IRON GRATE. GROUND PIT. HEAVY DUTY CAST IRON GRATE.	
	IL IO	INVERT LEVEL INSPECTION OPENING	
	JP K KIP	JUNCTION PIT. KERB. KERB INLET PIT.	
	LDG MDG	LIGHT DUTY CAST IRON GRATE. MEDIUM DUTY CAST IRON GRATE.	E
	NTS O/F OSD	NOT TO SCALE OVER FLOW ONSITE DETENTION	
	OSD PE PD	ONSITE DETENTION EASEMENT PIT. PARKING DRAIN	
	PSD RCP	PERMISSIBLE SITE DISCHARGE REINFORCED CONCRETE PIPE	
	RHS RL RRJ	RECTANGULAR HOLLOW SECTION REDUCED LEVEL RUBBER RING JOINTED	
	RWT RWO	RAINWATER TANK RIANWATER OUTLET	
	RWH SFL SP	RAIN WATER HEAD SLAB FINISHED LEVEL SPREADER.	
	SS SU	STAINLESS STEEL BOX GUTTER SUMP	
	SWP TOK TW	TOP OF KERB	
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CONCEPT DESIGN NOT TO BE USED FOR CONSTRUCTION PURPOSES



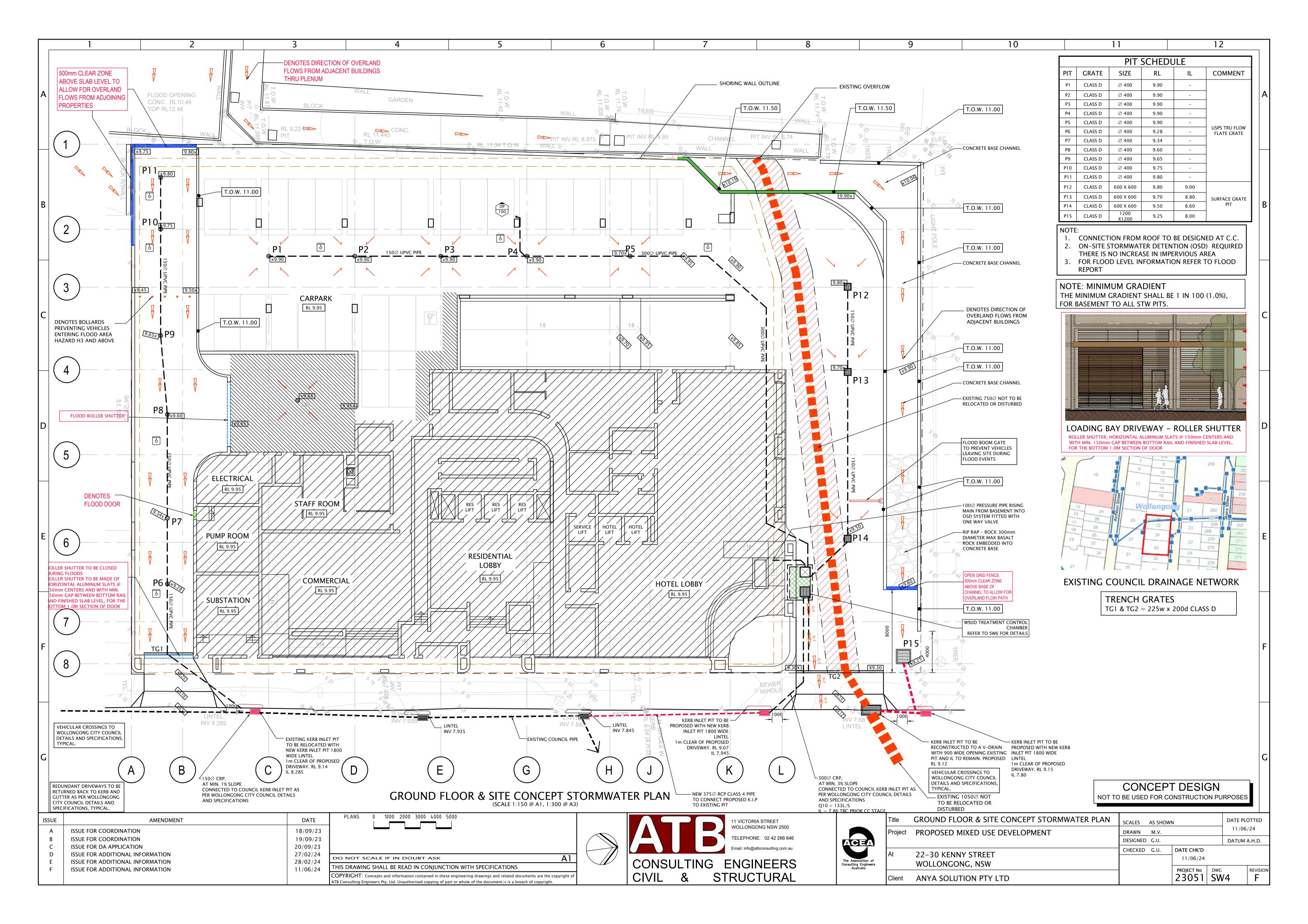
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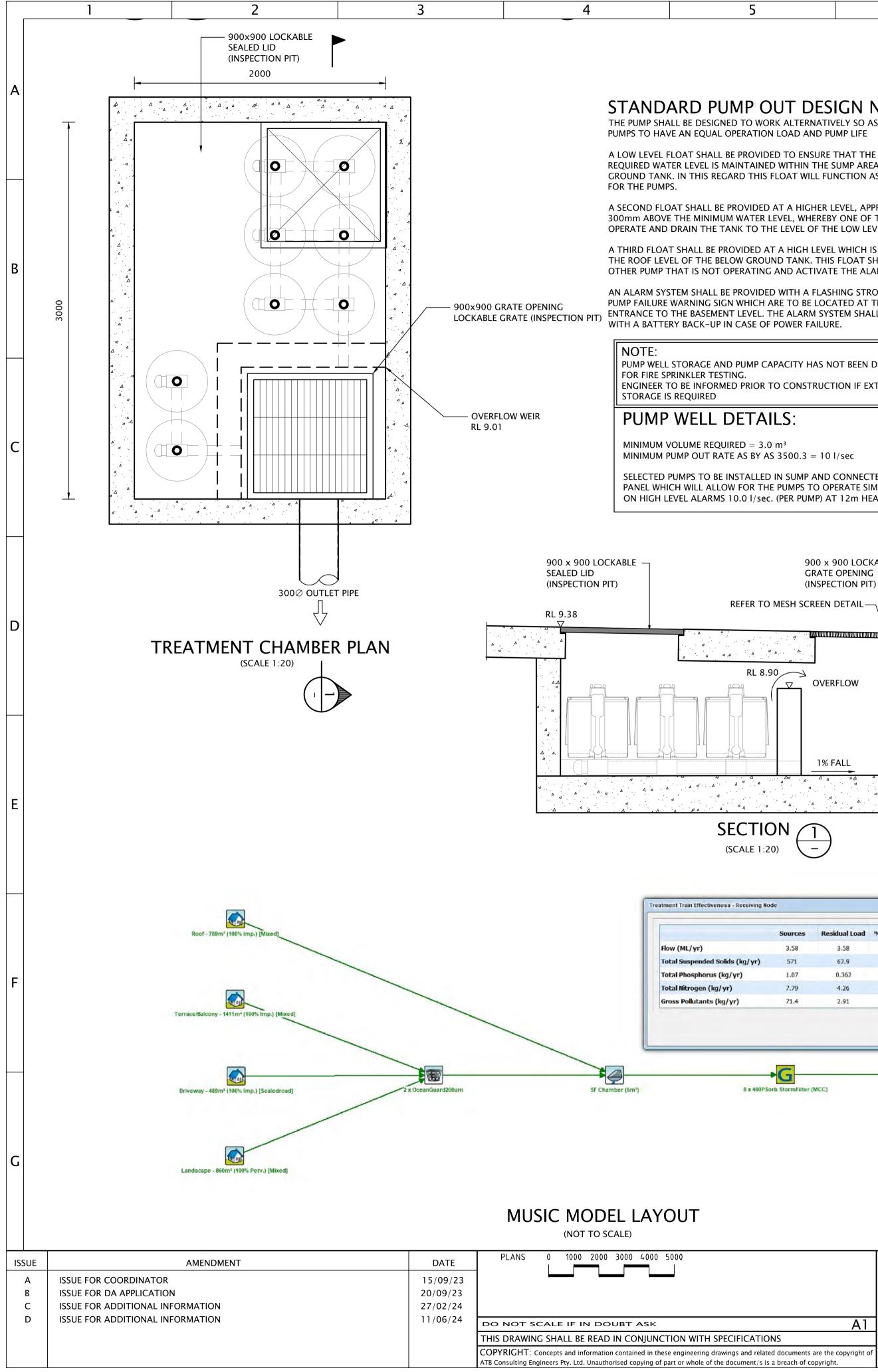


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ROVIDED AT A HIGHER LEVEL, APPROXIMATELY WATER LEVEL, WHEREBY ONE OF THE PUMPS WIL NK TO THE LEVEL OF THE LOW LEVEL FLOAT.	L	···· · · · · · · · · · · · · · · · · ·				
OVIDED AT A HIGH LEVEL WHICH IS APPROXIMATE OW GROUND TANK. THIS FLOAT SHOULD START T PERATING AND ACTIVATE THE ALARM.						
PROVIDED WITH A FLASHING STROBE LIGHT AND WHICH ARE TO BE LOCATED AT THE DRIVEWAY LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED CASE OF POWER FAILURE.						
PUMP CAPACITY HAS NOT BEEN DESIGNED NG. D PRIOR TO CONSTRUCTION IF EXTRA						
ETAILS:	MESH SCREEN					
RED = 3.0 m ³ E AS BY AS 3500.3 = 10 l/sec	GALVANISED LYSAGHT RH	¦⊥ I∵			4	
ISTALLED IN SUMP AND CONNECTED TO CONTRO / FOR THE PUMPS TO OPERATE SIMULTANEOUSLY 0.0 l/sec. (PER PUMP) AT 12m HEAD		g Fix to pit		SUN	ир то ве 900 х 90	0 × 300
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Landscape	-43m² (100% Perv.) [Mixed]		ROOF (789 m ²	LCONY (1411 m ² )	LANDCSAPE (860 m ² )	
				AREA BRE		SCALE)
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